

85 CENTRE ST

ROXBURY, MA 02119

04.11.2024

PERMIT SET

PROJECT 3D



ENERGY REQUIREMENTS

CLIMATE ZONE: 5A PER TABLE 301.1 IEBC 2021.
SECTION 909
LEVEL 3 ALTERATIONS TO EXISTING BUILDINGS OR STRUCTURES ARE PERMITTED WITHOUT REQUIRING THE ENTIRE BUILDING OR STRUCTURE TO COMPLY WITH THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE OR INTERNATIONAL RESIDENTIAL CODE. THE ALTERATIONS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE OR INTERNATIONAL RESIDENTIAL CODE AS THEY RELATE TO NEW CONSTRUCTION ONLY.

MASSACHUSETTS ENERGY STRETCH CODE 2023

C401.2 APPLICATION. COMMERCIAL BUILDINGS SHALL COMPLY WITH EITHER SECTION C401.2.1 OR C401.2.2. WHEN CONSTRUCTED FOR THE FIRST TIME, ALL REQUIREMENTS IMPOSED ON THE BUILDING HOUSING A TENANT SPACE FIT OUT ZONE SHALL ALSO APPLY TO THE TENANT SPACE FIT OUT ZONE. COMMERCIAL BUILDINGS CONTAINING MULTIPLE USE TYPE CLASSIFICATIONS (MIXED-USE BUILDINGS) SHALL COMPLY WITH C401.2.4

C401.2.1 PRESCRIPTIVE AND PERFORMANCE COMPLIANCE. COMMERCIAL BUILDINGS SHALL COMPLY WITH ONE OF THE FOLLOWING:

- PRESCRIPTIVE COMPLIANCE: THIS PATHWAY MAY ONLY BE USED FOR ANY NONRESIDENTIAL BUILDING, OR PORTIONS THEREOF WHEN FOLLOWING C401.2.4, UP TO 20,000-SF. THE PRESCRIPTIVE COMPLIANCE PATHWAY REQUIRES COMPLIANCE WITH SECTIONS C401.3, C402 THROUGH C406, AND SECTION C408.
- TARGETED PERFORMANCE COMPLIANCE: THIS PATHWAY SHALL BE USED FOR DORMITORY, FIRE STATION, LIBRARY, OFFICE, SCHOOL, POLICE STATION, POST OFFICE, AND TOWN HALL BUILDINGS, OR PORTIONS THEREOF WHEN FOLLOWING C401.2.4, OVER 20,000-SF WHICH HAVE AVERAGE VENTILATION AT FULL OCCUPANCY OF 0.5 CFM/SF OR LESS. THIS PATHWAY CAN ALSO BE USED FOR ANY BUILDING OF ANY SIZE. AFTER 1 JULY 2024, THIS PATHWAY SHALL BE USED FOR RESIDENTIAL BUILDINGS, OR PORTIONS THEREOF WHEN FOLLOWING C401.2.4, OVER 12,000-SF, OR THE BUILDING MAY COMPLY WITH SECTION C401.2.2. THE TARGETED PERFORMANCE COMPLIANCE PATHWAY REQUIRES COMPLIANCE WITH SECTION C401.3, SECTIONS C402 THROUGH C406, SECTION C407.1, SECTION 408, AND SELECT SECTIONS OF ANSI/ASHRAE/IESNA 90.1-2019 APPENDIX G AS DESCRIBED IN SECTION 407.1.
- RELATIVE PERFORMANCE COMPLIANCE: THIS PATHWAY MAY BE USED BY BUILDINGS NOT REQUIRED TO USE OPTION 2. THE RELATIVE PERFORMANCE COMPLIANCE PATHWAY REQUIRES THAT THE PROPOSED BUILDING COMPLIES WITH SECTIONS C401.3, C402.1.5, C402.2.8, C402.3, C402.4, C402.5, C402.6, C402.7, C403.5, C403.7, C405, C406, C407.2, C408, AND ANSI/ASHRAE/IESNA 90.1-2019 USING THE APPENDIX G COMPLIANCE PATHWAY AS MODIFIED IN SECTION C407.2.

EXCEPTION: ADDITIONS, ALTERATIONS, REPAIRS AND CHANGES OF OCCUPANCY TO EXISTING BUILDINGS COMPLYING WITH CHAPTER 5. THIS EXCEPTION DOES NOT INCLUDE TENANT SPACE FIT OUT ZONES WHEN CONSTRUCTED FOR THE FIRST TIME.

ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR
ACT	ACOUSTICAL CEILING TILE
ADA	AMERICANS W/ DISABILITIES ACT
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
AV	AUDIO VISUAL
BLDG	BUILDING
BLKG	BLOCKING
BO	BOTTOM OF
CAB	CABINET
CH	CEILING HEIGHT
CLR	CLEAR
CL	CENTERLINE
COL	COLUMN
CONT	CONTINUOUS
CMU	CONCRETE MASONRY UNIT
CJ	CONTROL JOINT
DTL	DETAIL
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DNW	DRAWING
EXIST	EXISTING
ELEV	ELEVATION
ELEC	ELECTRICAL
EQ	EQUAL
FD	FLOOR DRAIN
FO	FACE OF
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOS	FACE OF STUD
GFIC	GROUND FAULT INTERCEPTOR CIRCUIT
GSM	GALVANIZED SHEET METAL
GWB	GYPSPUM WALL BOARD
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
HB	HOSE BIB
HM	HOLLOW METAL
MAX	MAXIMUM
MO	MASONRY OPENING
MECH	MECHANICAL
MIN	MINIMUM
MISC	MISCELLANEOUS
MTL	METAL
NIC	NOT IN CONTRACT
NO	NUMBER
NTS	NOT TO SCALE
O	OVER
OC	ON CENTER
OD	OUTSIDE DIAMETER
OPNG	OPENING
OPP	OPPOSITE
PG	PAINT GRADE
PLYWDD	PLYWOOD
PTD	PAINTED
RD	ROOF DRAIN
REQ'D	REQUIRED
RO	ROUGH OPENING
SCHED	SCHEDULE
SG	STAIN GRADE
SIM	SIMILAR
SQ	SQUARE
SSTL	STAINLESS STEEL
STL	STEEL
STOR	STORAGE
STRUCT	STRUCTURAL
T&G	TONGUE AND GROOVE
TO	TOP OF
TPY	TYPICAL
UON	UNLESS OTHERWISE NOTED
VIF	VERIFY IN FIELD
W	WITH
W/O	WITHOUT
WD	WOOD
WPM	WATERPROOFING MEMBRANE

SHEET LIST

SHEET #	SHEET NAME	REVISION	REVISION DATE
A000	COVER	2	4.11.2024
C1	CIVIL SITE PLAN - LOT CONSOLIDATION PLAN		
C2	CIVIL SITE PLAN - PROPOSED CONDITIONS	1	10.20.2023
A001	BUILDING INFORMATION	1	10.20.2023
A002	BUILDING INFORMATION	2	4.11.2024
AD100	DEMO PLANS		
AD200	ELEVATIONS - DEMO		
A010	ARCH SITE PLAN - PROPOSED	1	10.20.2023
A011	ARCH LANDSCAPE PLAN - PROPOSED	2	4.11.2024
A100	GROUND FLOOR - DEMO/PROPOSED	1	10.20.2023
A101	LEVEL 1 - PROPOSED	1	10.20.2023

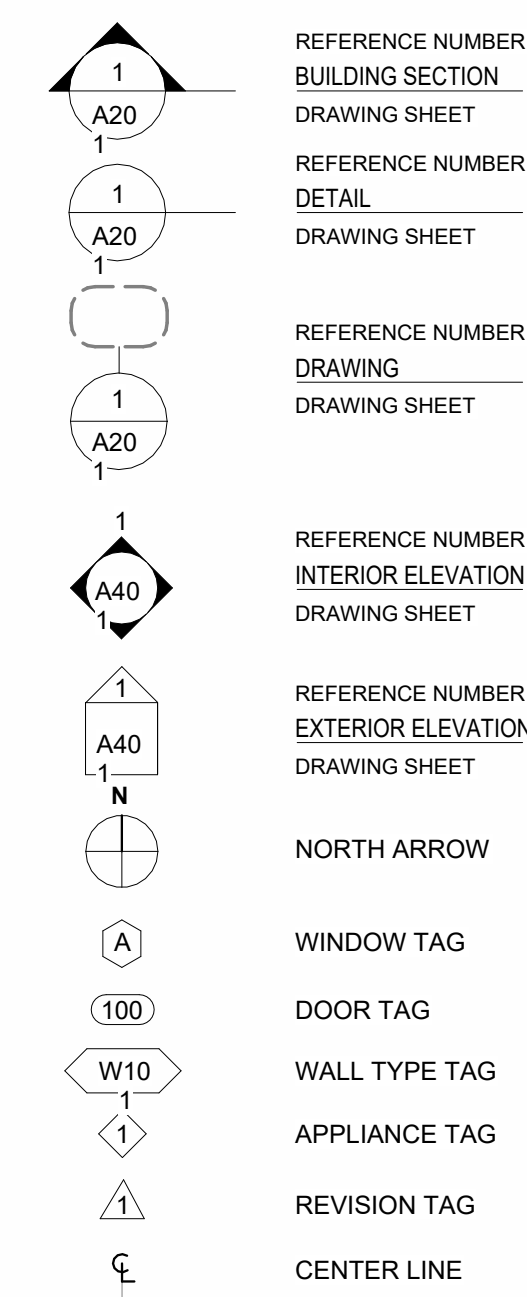
SHEET #	SHEET NAME	REVISION	REVISION DATE
A102	LEVEL 2 - PROPOSED	1	10.20.2023
A103	LEVEL 3 - PROPOSED	1	10.20.2023
A104	LEVEL 4 - PROPOSED	1	10.20.2023
A105	ROOF - PROPOSED	1	10.20.2023
A200	ELEVATIONS - PROPOSED	2	4.11.2024
A201	EXTERIOR MATERIALS - PROPOSED	2	4.11.2024
A217	EXTERIOR MATERIALS - OTHER MULTIFAMILY MATERIALS		
A300	BUILDING SECTIONS	2	4.11.2024
A500	AXONS	2	4.11.2024
A706	RENDERING - 4 FLOORS		
A707	RENDERING - 4 FLOORS		
A708	RENDERING - 4 FLOORS		

VICINITY MAP



- PROJECT DESCRIPTION: NEW CONSTRUCTION OF MULTISTORY RESIDENTIAL BUILDING WITH PARKING IN THE BASEMENT
- USE GROUP: R - RESIDENTIAL
- GOVERNING CODE: MA STATE BUILDING CODE, 9TH ED., BASE VOLUME INTERNATIONAL BUILDING CODE 2015 (IBC 2015)
- CONSTRUCTION CLASSIFICATION: V-B
- FULLY SPRINKLERED - YES
- HEIGHT AND AREA: PER ROXBURY ZONING ORDINANCES

SYMBOLS



GENERAL REQUIREMENTS

- ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCALS BUILDING CODES AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS APPLICABLE TO SPECIFIC TRADES OR SUBCONTRACTORS.
- CONTRACTOR SHALL EXAMINE THE PREMISES AND SITE SO AS TO COMPARE THEM TO THE CONTRACT DRAWINGS AND WILL BE FAMILIAR WITH THE EXISTING CONDITIONS OF THE BUILDING AND ADJACENT PROPERTY PRIOR TO SUBMISSION OF BID NUMBER. ALLOWANCES ARE TO BE MADE TO INCLUDE ALL ITEMS OF WORK INCLUDING BOTH LABOR OR MATERIALS FOR ALL NOTED, DETAILS, OR IMPLIED ITEMS REQUIRED TO ATTAIN THE COMPLETED CONDITIONS PROPOSED IN THE DRAWINGS AND SPECIFICATIONS.
- ALL SUBCONTRACTORS SHALL INSPECT THE SITE AND CONVEY ANY QUESTIONS REGARDING DESIGN INTENT AND SCOPE OF WORK TO THE GENERAL CONTRACTOR WHO WILL CONVEY THESE TO THE ARCHITECT PRIOR TO SUBMITTING A BID AND PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR ANY ACTS, OMISSIONS, OR ERRORS OF THE SUBCONTRACTORS AND OR PERSON DIRECTLY OR INDIRECTLY EMPLOYED BY THEM.
- CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS INCLUDING THE SAFETY OF PERSONS AND PROPERTY FOR THE DURATION OF THE PROJECT.
- CONTRACTOR SHALL CONFORM TO ALL NEIGHBORHOOD ASSOCIATION RULES AND GUIDELINES.
- CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY AND PRIOR TO ORDERING OF ALL LONG LEAD TIME ITEMS AND OF APPROXIMATE DELIVERY DATES.
- ALL CONSTRUCTION MATERIALS AND SUPPLIES ARE TO BE STORED, HANDLED, AND INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS.
- IF ERRORS OR OMISSIONS ARE FOUND IN THE CONTRACT DOCUMENTS, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- DRAWINGS SCHEMATICALLY INDICATE NEW CONSTRUCTION. THE CONTRACTOR SHALL ANTICIPATE, BASED ON EXPERIENCE, A REASONABLE NUMBER OF ADJUSTMENTS TO BE NECESSARY TO MEET THE DESIGN OBJECTIVES AND SHOULD CONSIDER SUCH ADJUSTMENTS AS INCLUDED IN THE SCOPE OF WORK.
- WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS.
- ALL DIMENSIONS ARE TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY; DIMENSIONS ARE NOT TO BE SCALED OFF OF THE DRAWINGS.
- THESE NOTES ARE TO APPLY TO ALL DRAWINGS AND GOVERN UNLESS MORE SPECIFIC REQUIREMENTS ARE INDICATED THAT ARE APPLICABLE TO PARTICULAR DIVISIONS OF THE WORK. SEE SPECIFICATIONS AND GENERAL NOTES IN THE INDIVIDUAL SUBSECTIONS OF CONTRACT DOCUMENTS FOR ADDITIONAL INFORMATION.
- ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- PROVIDE WEATHERSTRIPPING AT ALL DOORS LEADING FROM HEATED TO UNHEATED AREAS. PROVIDE VINYL BEAD TYPE WEATHERSTRIPPING AT THESE DOORS AND WINDOWS. ALL SIDES OF NEW DOORS ARE TO BE WEATHERSTRIPPED INCLUDING THE THRESHOLD.
- CAULK AND SEAL OPENINGS IN BUILDING EXTERIOR TO A THICKNESS OF 1/8" OR GREATER TO PREVENT AIR INFILTRATION.
- ALL WINDOWS ARE TO BE OPERABLE FOR CLEANING UNLESS OTHERWISE NOTED.
- ALL WALL FRAMING SHALL BE 3 5/8" AT 16" ON CENTER UNLESS OTHERWISE NOTED.
- ALL GYPSPUM BOARD SHALL BE 5/8" THICK UNLESS OTHERWISE NOTED.
- STRUCTURAL WOOD MEMBERS ADJACENT TO CONCRETE ARE TO BE PRESSURE TREATED DOUGLAS FIR.

ZONING REVIEW

85 CENTRE STREET ZONING SUMMARY PROPOSED 3F-4000 SUBDISTRICT				
ROXBURY NEIGHBORHOOD, 3F-4000 ZONING SUBDISTRICT; SUBDISTRICT OVERLAY - NEIGHBORHOOD DESIGN OVERLAY DISTRICT; HISTORIC DISTRICT - HIGHLAND PARK ARCHITECTURAL CONSERVATION DISTRICT	ALLOWABLE DIMENSION	EXISTING DIMENSION	PROPOSED DIMENSION	RELIEF REQUIRED
LOT AREA (SF) MINIMUM	4,000	6,089	6,089	N
ADDITIONAL LOT AREA PER DWELLING UNIT	2,000	-	608.9	Y
LOT WIDTH (FEET) MINIMUM	45	(69.24+83.39):2 = 76.3	(69.24+83.39):2 = 76.3	N
LOT FRONTAGE (FEET) MINIMUM	45	81.59	81.59	N
FLOOR AREA RATIO (FAR) MAXIMUM	0.8	-	1.95	Y
BUILDING HEIGHT (STORIES) MAXIMUM	3	1	4	Y
BUILDING HEIGHT (FEET) MAXIMUM	35	~12	43' - 5 1/4"	Y
USABLE OPEN SPACE (MIN. SQUARE FEET/DW UNIT)	650 (c)	-	187	Y
FRONT YARD MIN. DEPTH (FEET - SOUTH SIDE)	20 (d)	0	5	Y
SIDE YARD DEPTH (FEET - WEST SIDE)	(e)	0	11.7	N
SIDE YARD DEPTH (FEET - EAST SIDE)	(e)	57.8	6	N
REAR YARD DEPTH (FEET - NORTH SIDE)	30	0	21.9	Y
# OF PARKING SPOTS REQUIRED per DU	1	~10-15	8	Y
FOOTNOTES TO TABLE				
* - E/N - Existing Nonconforming (a) See Maps 6A, 6B, and 6C and Sections 50-26 through 50-29 concerning residential subdistricts. In a 2F subdistrict the maximum number of dwelling units allowed in a single building shall be two (2); a greater number up to three (3) shall be conditional. In a 3F subdistrict, the maximum number of dwelling units allowed in a single building shall be three (3); a greater number up to four (4) shall be conditional. In a 3F subdistrict the maximum number of Row House Buildings or Town House Buildings attached in a row shall be three (3); a greater number up to four (4) shall be conditional. (b) For certain Proposed Projects in the Dudley Triangle Area, see Section 50-27.2 (Provision of Affordable Housing). (c) Applicable only to Residential Uses and Dormitory/Fraternity Uses. In MFR and MFRLS Subdistricts, up to fifty percent (50%) of the usable open space requirement for a multifamily dwelling may be met by suitably designed and accessible space on balconies of Main Buildings or on the roofs of wings of Main Buildings or on the roofs of Accessory Buildings. (d) See Section 50-44.2 (Conformity with Existing Building Alignment). A bay window may protrude into a front yard. (e) On each side, the side yard shall be at least five (5) feet from a side lot line and ten (10) feet from an existing structure on an abutting lot, and the aggregate side yard width shall be not less than fifteen (15) feet. (f) Semi-attached dwellings, Town House Buildings, and Row House Buildings are required to have side yards only on sides that are not attached to another Dwelling. (g) Semi-attached dwellings, Town House Buildings, and Row House Buildings are required to have side yards only along the side lot line of a lot which is a corner lot. See Section 50-44.5 (Special Provisions for Corner Lots), if not applicable, the side yard requirement shall be ten (10) feet.				



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Boston, MA 02127
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info@drteam.com
drteam.com

Client
Rob Dipierro

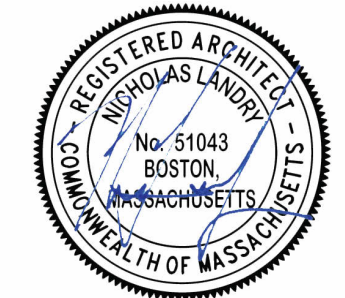
Architect
Design Resource Team, LLC.
546 East Broadway, Boston, MA 02127

Consultants

Surveyor
Paul J. Tyrell PE, PLS, LEED AP, DBIA
Greater Boston Survey and Engineering
19 Fredith Road
Weymouth MA 02189
781-413-7029 (cell)
781-331-6128 (home)
Email: p.j.tyrell@att.net

Structural Engineer
TBD

MEP Engineer
TBD

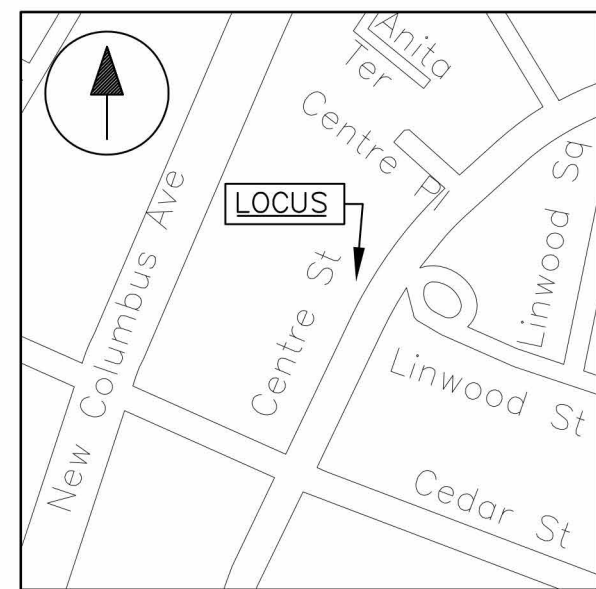


No.	Description	Date
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2	REV 2	4.11.2024

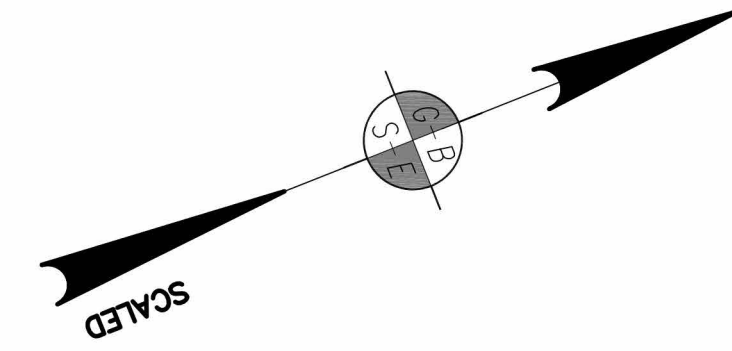
Rob Dipierro
85 CENTRE ST
COVER

Project number: 223038
Date: 04.11.2024
Drawn by: SA
Checked by: NPL

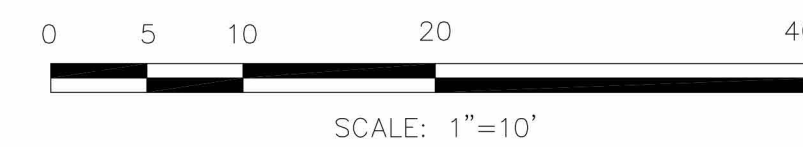
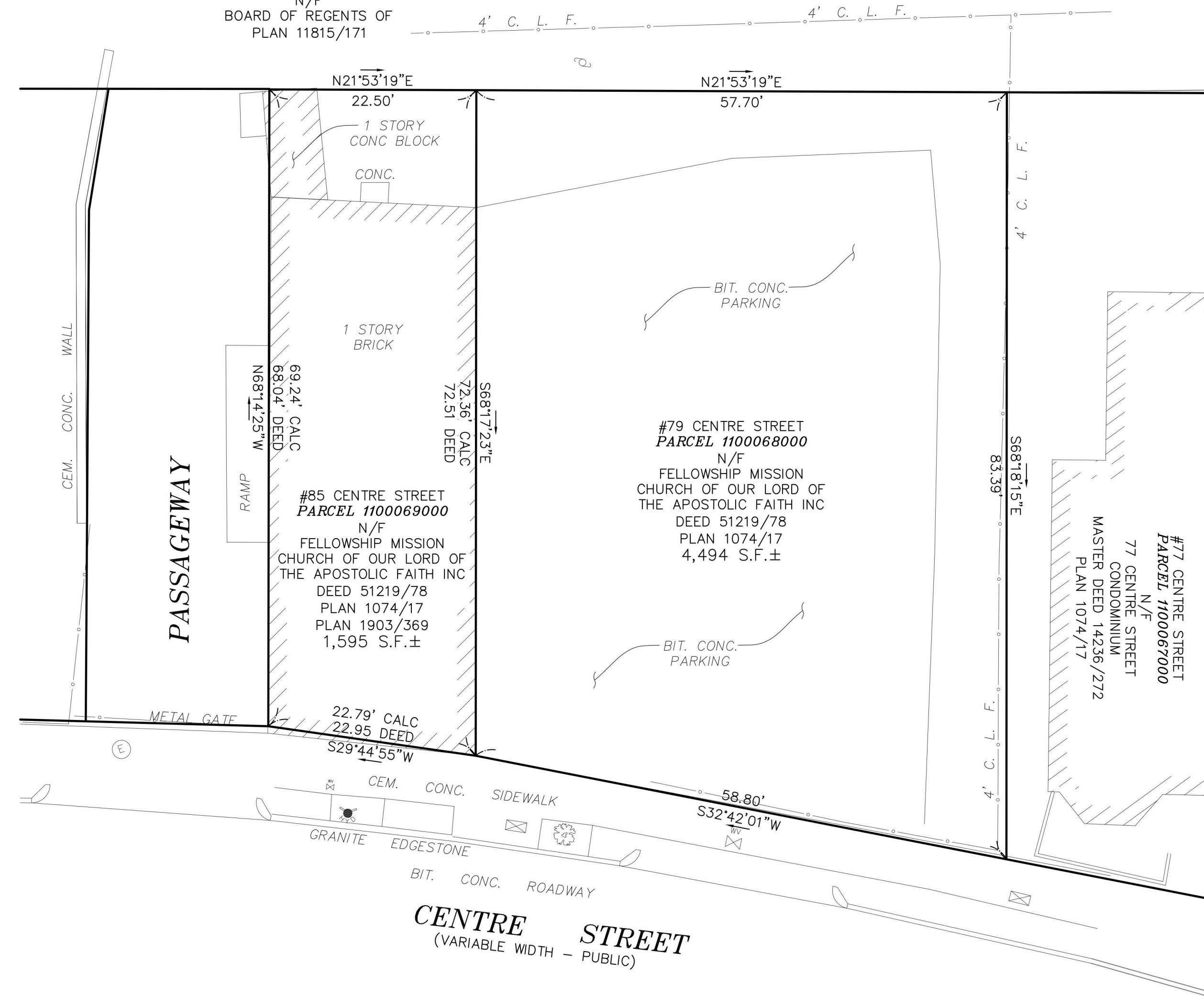
A000



LOCUS MAP
N.T.S



PARCEL 1100029000
N/F
BOARD OF REGENTS OF
PLAN 11815/171

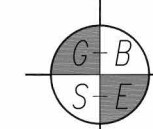


PJT



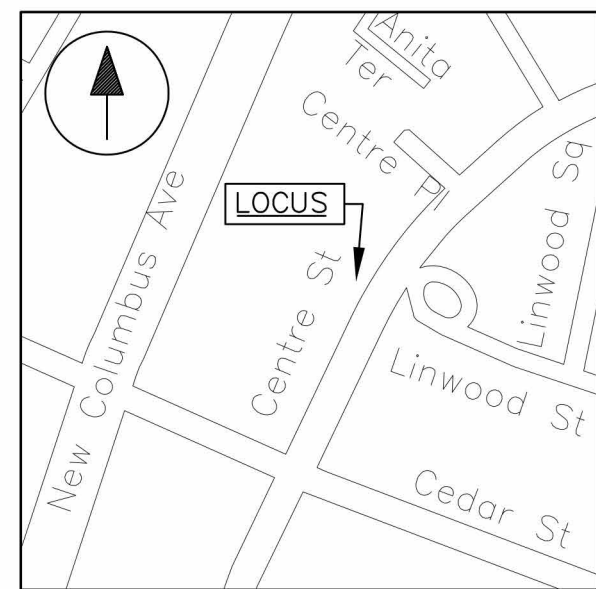
PLAN OF LAND
79-85 CENTRE STREET
BOSTON, MASSACHUSETTS
(ROXBURY DISTRICT)

PREPARED FOR
RIVERDALE REALTY TRUST
14 SAMMITT AVENUE
ROSLINDALE, MA 02131
617-388-0585

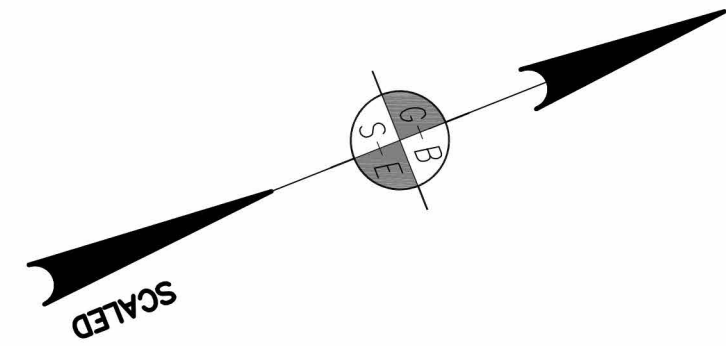


GREATER BOSTON SURVEYING AND ENGINEERING
19 FREDITH ROAD
WEYMOUTH, MA 02189
(781) 331-6128

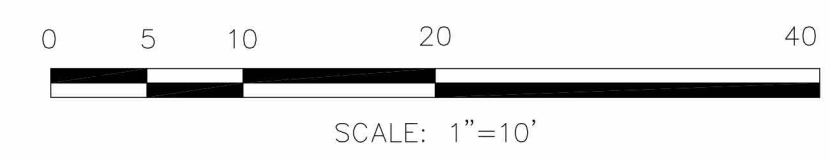
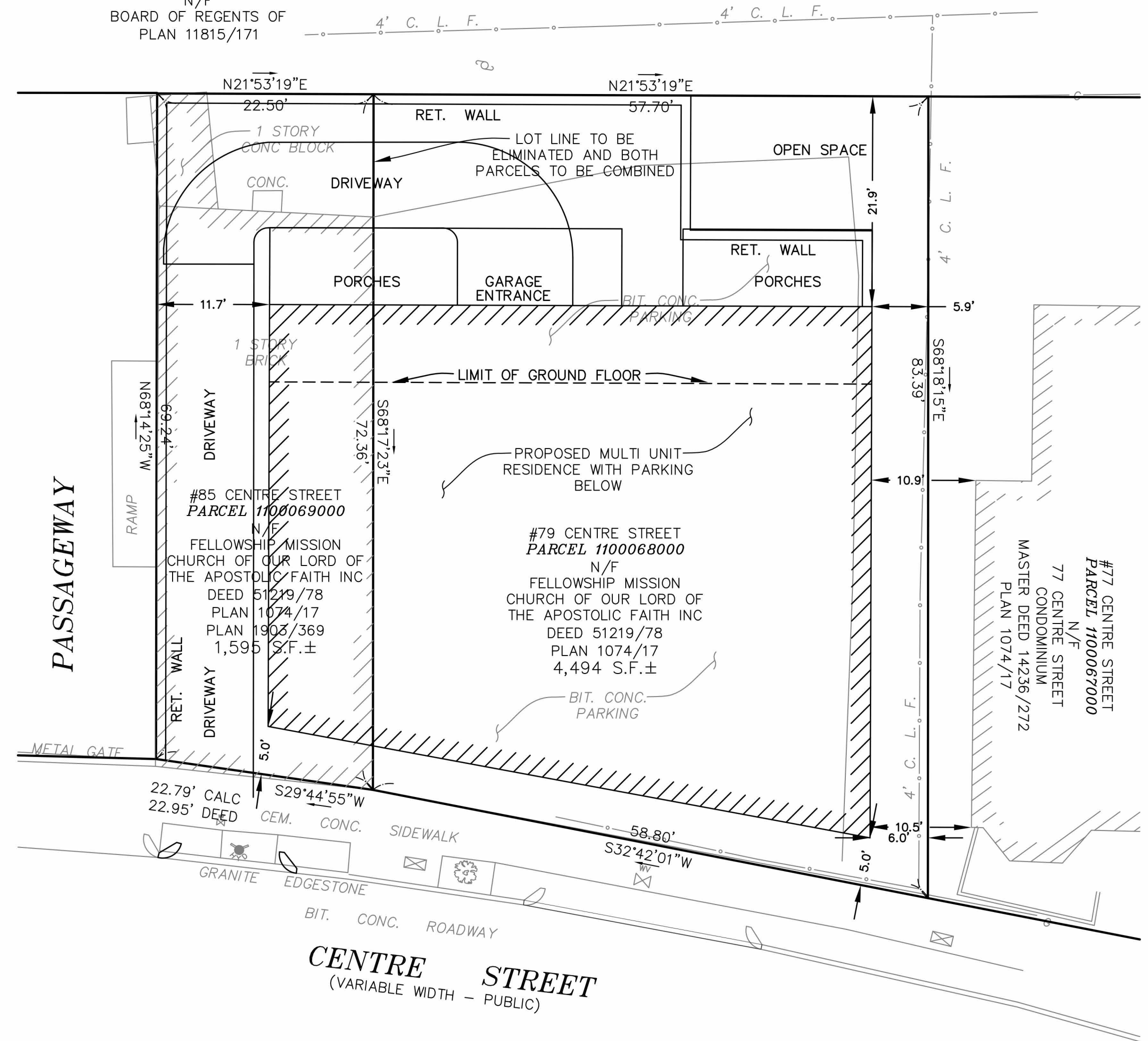
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LOCUS MAP
N.T.S.



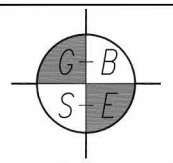
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N/F
BOARD OF REGENTS OF
PLAN 11815/171



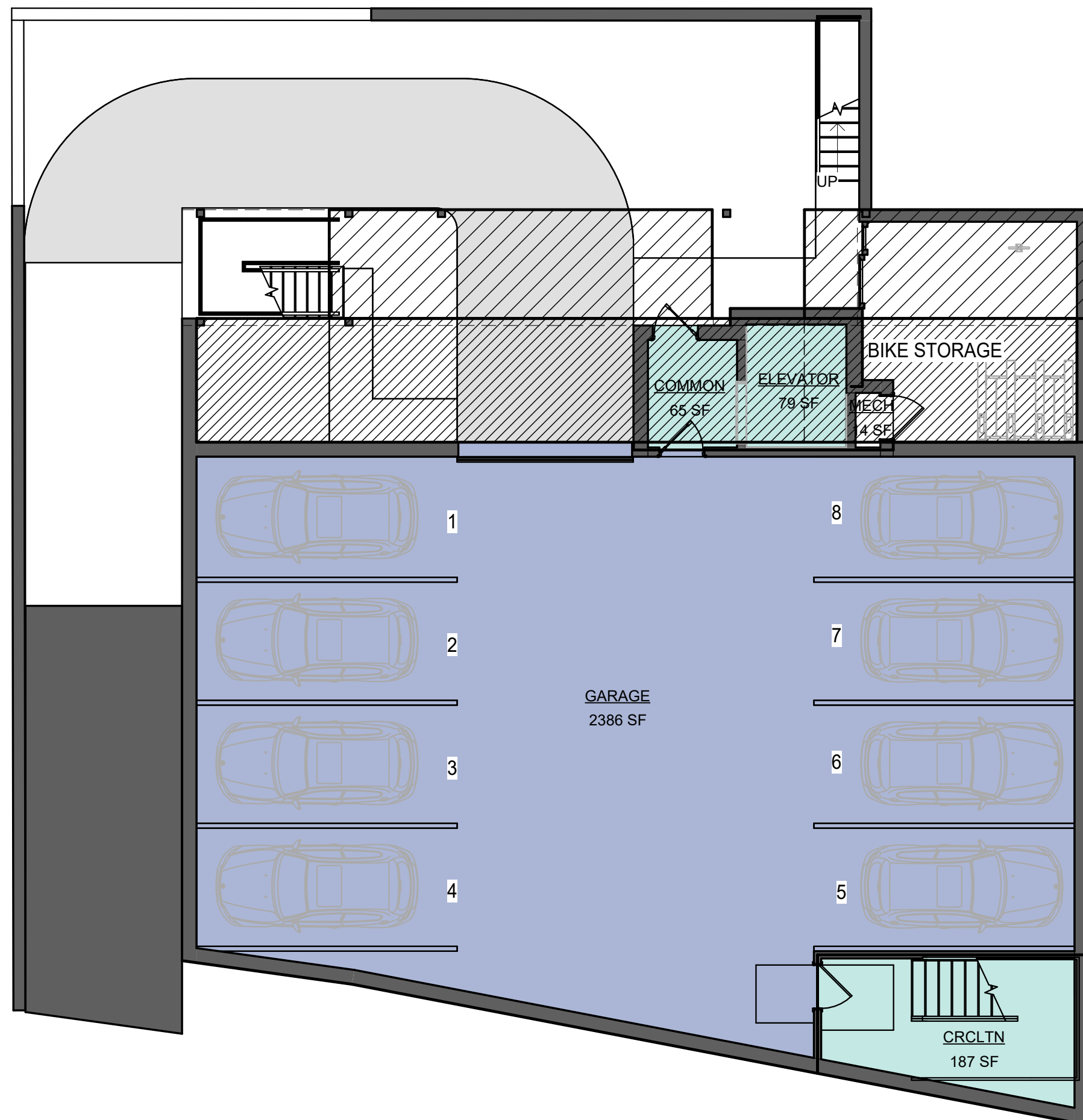
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3-17-24

PLAN OF PROPOSED CONSTRUCTION
79-85 CENTRE STREET
BOSTON, MASSACHUSETTS
(ROXBURY DISTRICT)

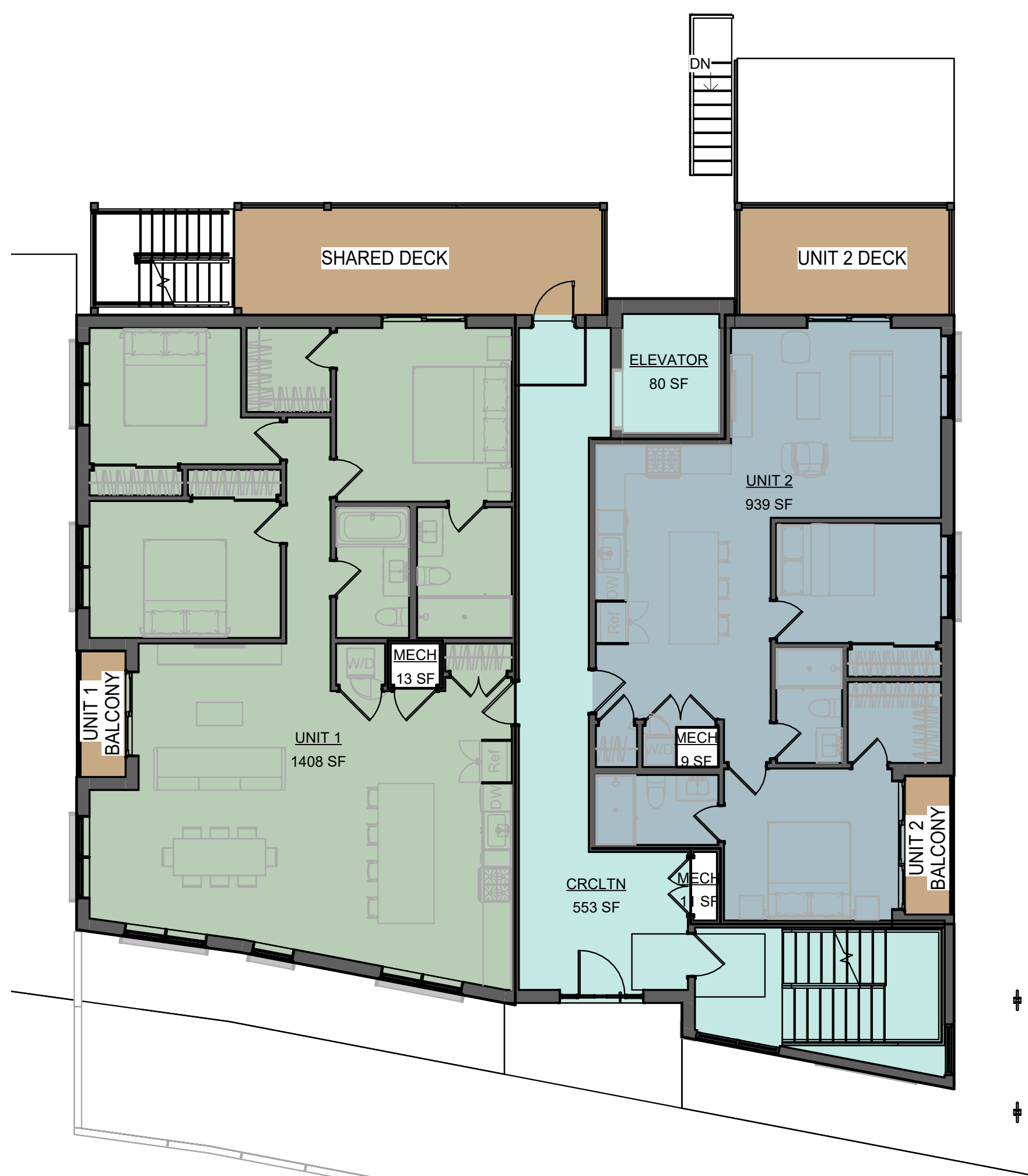
PREPARED FOR
NIC LANDRY

 **GREATER BOSTON SURVEYING AND ENGINEERING**
19 FREDRITH ROAD
WEYMOUTH, MA 02189
(781) 331-6128

CALC BY: PJT DATE: OCTOBER 7, 2023 SCALE: 1"=10'



① Basement
1/8" = 1'-0"



② Level 1
1/8" = 1'-0"



③ Level 2
1/8" = 1'-0"



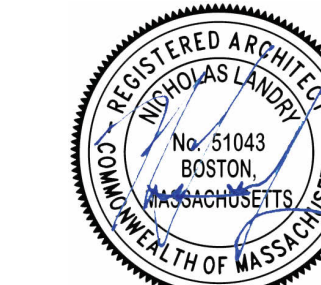
④ Level 3
1/8" = 1'-0"



⑤ Level 4
1/8" = 1'-0"

Proposed Gross Building	
FAR	TOTAL SF / LOT SF = 1.95
Name	Area
COMMON	65 SF
CRCLTN	2294 SF
ELEVATOR	399 SF
UNIT 1	1408 SF
UNIT 2	939 SF
UNIT 3	1400 SF
UNIT 4	993 SF
UNIT 5	1408 SF
UNIT 6	993 SF
UNIT 7	1055 SF
UNIT 8	904 SF
FINISHED	11858 SF
<hr/>	
GARAGE	2386 SF
MECH	118 SF
UNFINISHED	2503 SF
	14361 SF

- COLOR KEY:**
- 1 BED
 - 2 BED
 - 3 BED
 - COMMON
 - GARAGE
 - MECH



No.	Description	Date
1	REV 1	10.20.2023
2	REV 2	4.11.2024

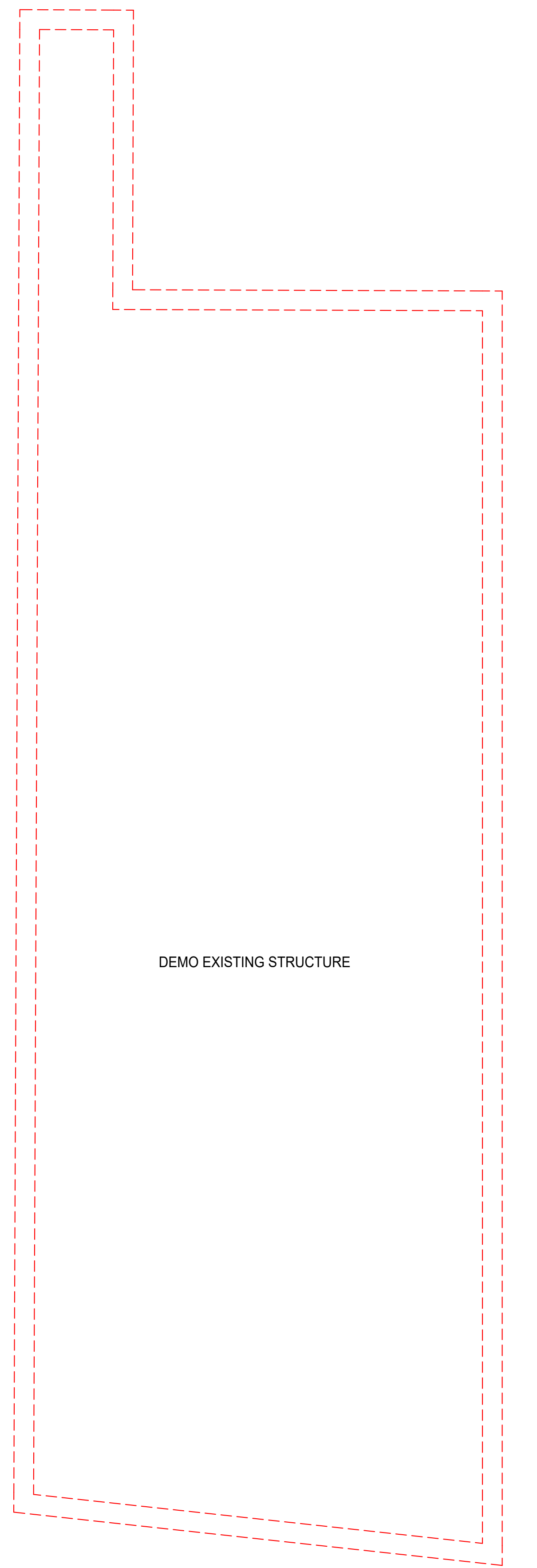
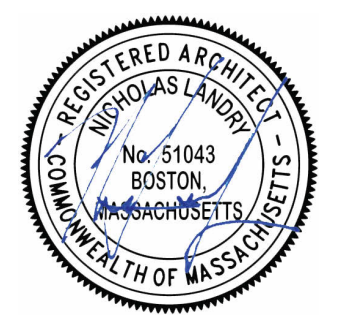
Rob Dipierro
85 CENTRE ST
BUILDING INFORMATION

Project number 223038
Date 04.11.2024
Drawn by SA
Checked by NPL

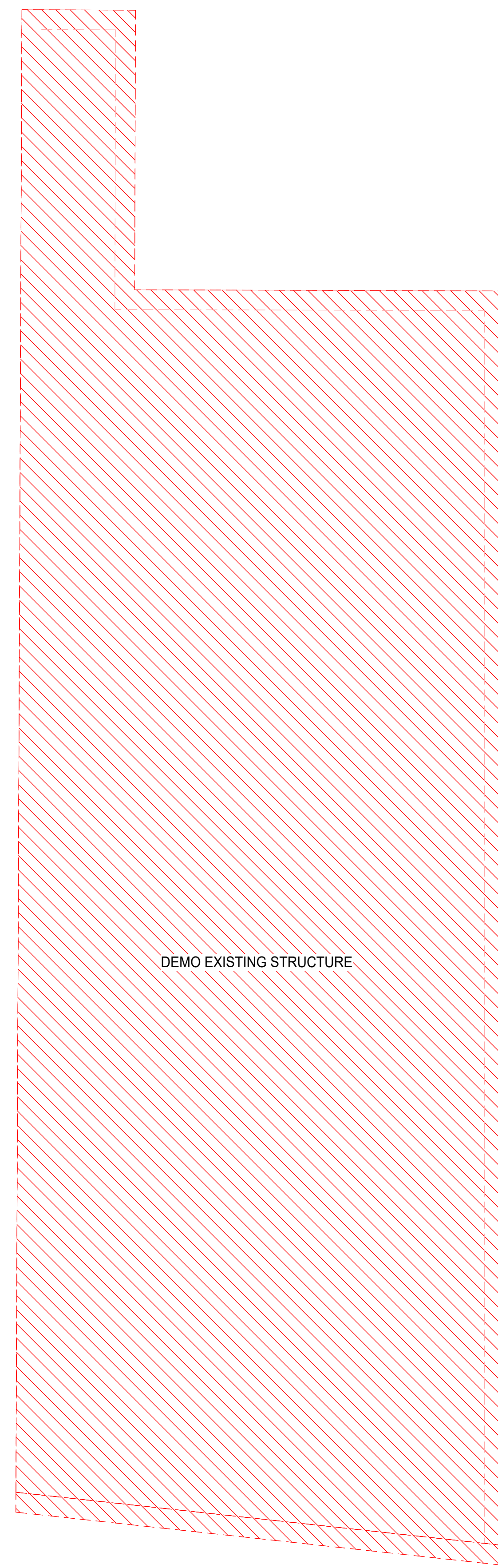
A002

Scale 1/8" = 1'-0"





① Level 1 - Existing/Demo
1/4" = 1'-0"

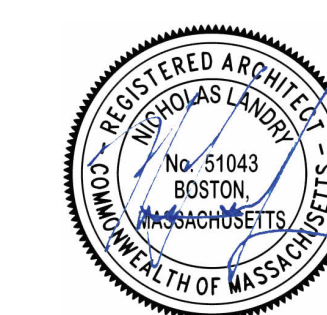
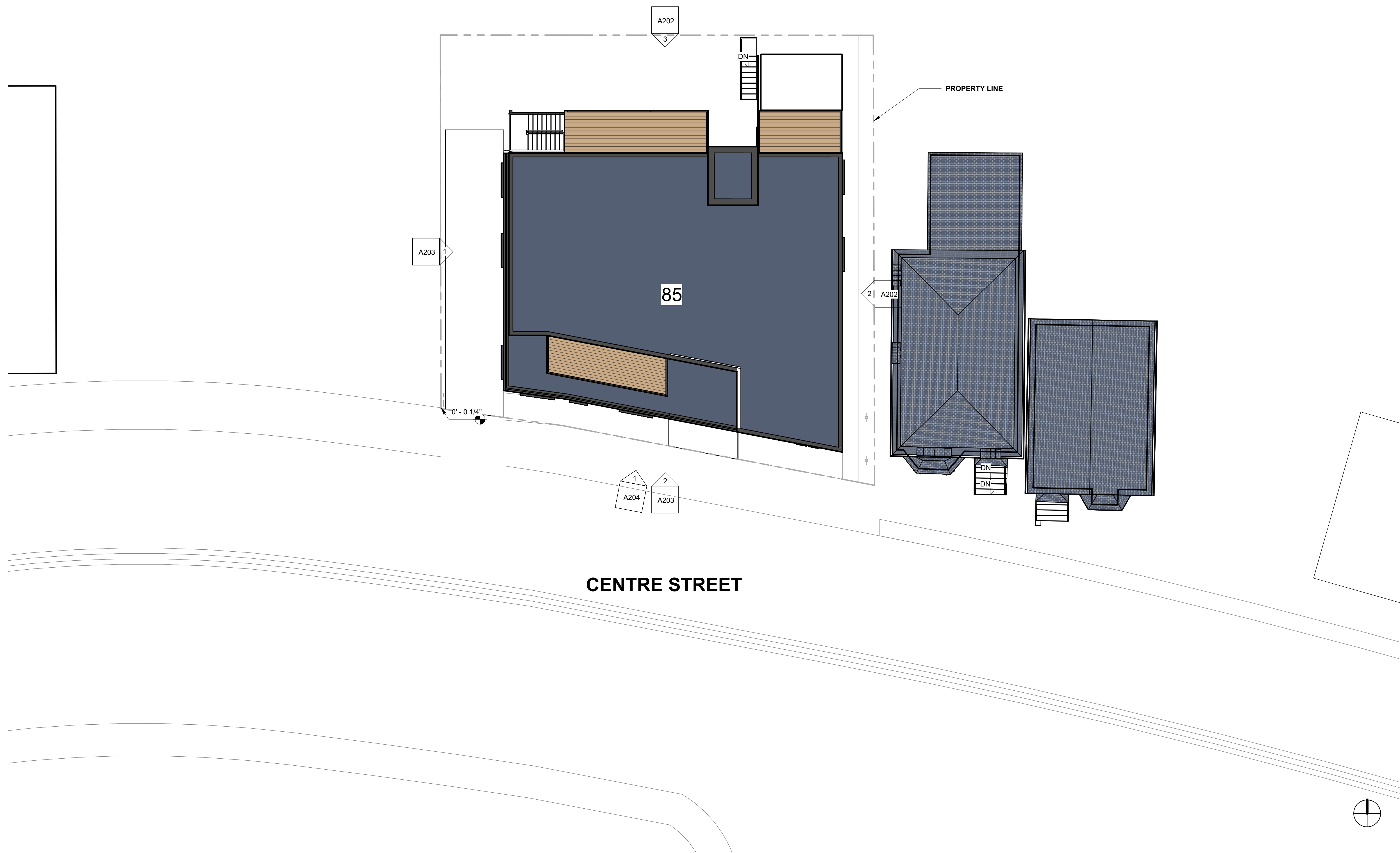


② Level 2 - Existing/Demo
1/4" = 1'-0"

- Ⓢ SMOKE DETECTOR
 - ⓗ HEAT DETECTOR
 - Ⓒ CARBON MONOXIDE DETECTOR
- DEMO/PROPOSED PLAN GRAPHIC KEY**
- EXISTING WALL TO REMAIN
 - NEW WALL/INFILL
 - AREA NOT IN CONTRACT
 - DEMOLISHED BUILDING ELEMENT
 - DEMOLISHED FLOOR FINISH/CEILING
 - TRIPLE DASHED RED LINE INDICATES REQUIRED (2) HOUR FIRE RESISTANCE RATED SEPARATION, UL NO. U314 AT WALLS AND UL NO. L501 AT CEILING
 - DASHED RED LINE INDICATES REQUIRED (1) HOUR FIRE RESISTANCE RATED SEPARATION, UL NO. L-583 AT CEILING

No.	Description	Date

Rob Dipierro	
85 CENTRE ST	
DEMO PLANS	
Project number	223038
Date	04.11.2024
Drawn by	SA
Checked by	NPL
AD100	
Scale	As indicated



No.	Description	Date
1	REV 1	10.20.2023

Rob Dipierro

85 CENTRE ST

ARCH SITE PLAN - PROPOSED

Project number 223038
Date 04.11.2024
Drawn by SA
Checked by NPL

A010

Scale 1" = 10'-0"



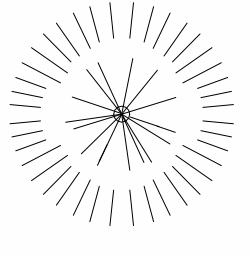


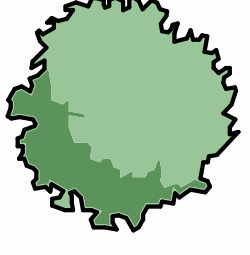

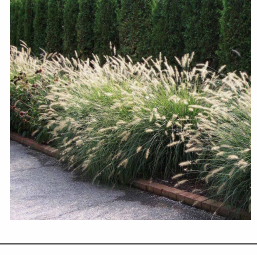
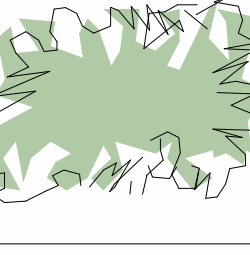
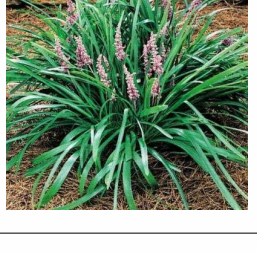
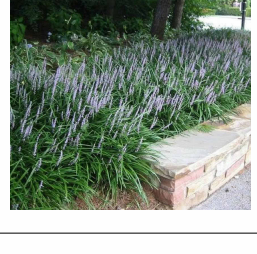
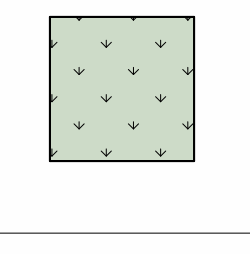
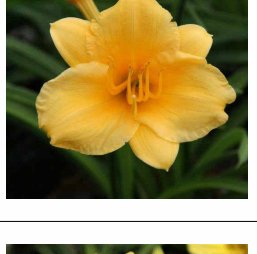

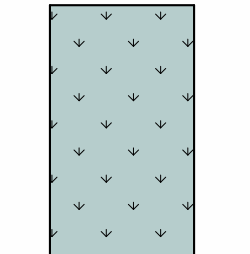
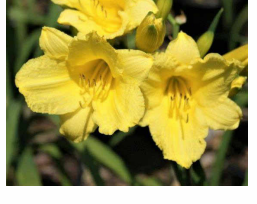

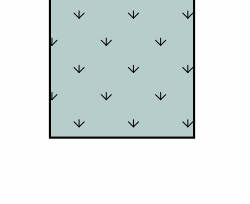
NOTES:

- Planting areas will require 12" of compost / loam mix
- Design considers snow removal and low maintenance requirements
- Maintenance requirements are water until established, cut back daylilies and grasses in fall
- Annual mulching will not be required

LOT SIZE: 6,089 SF

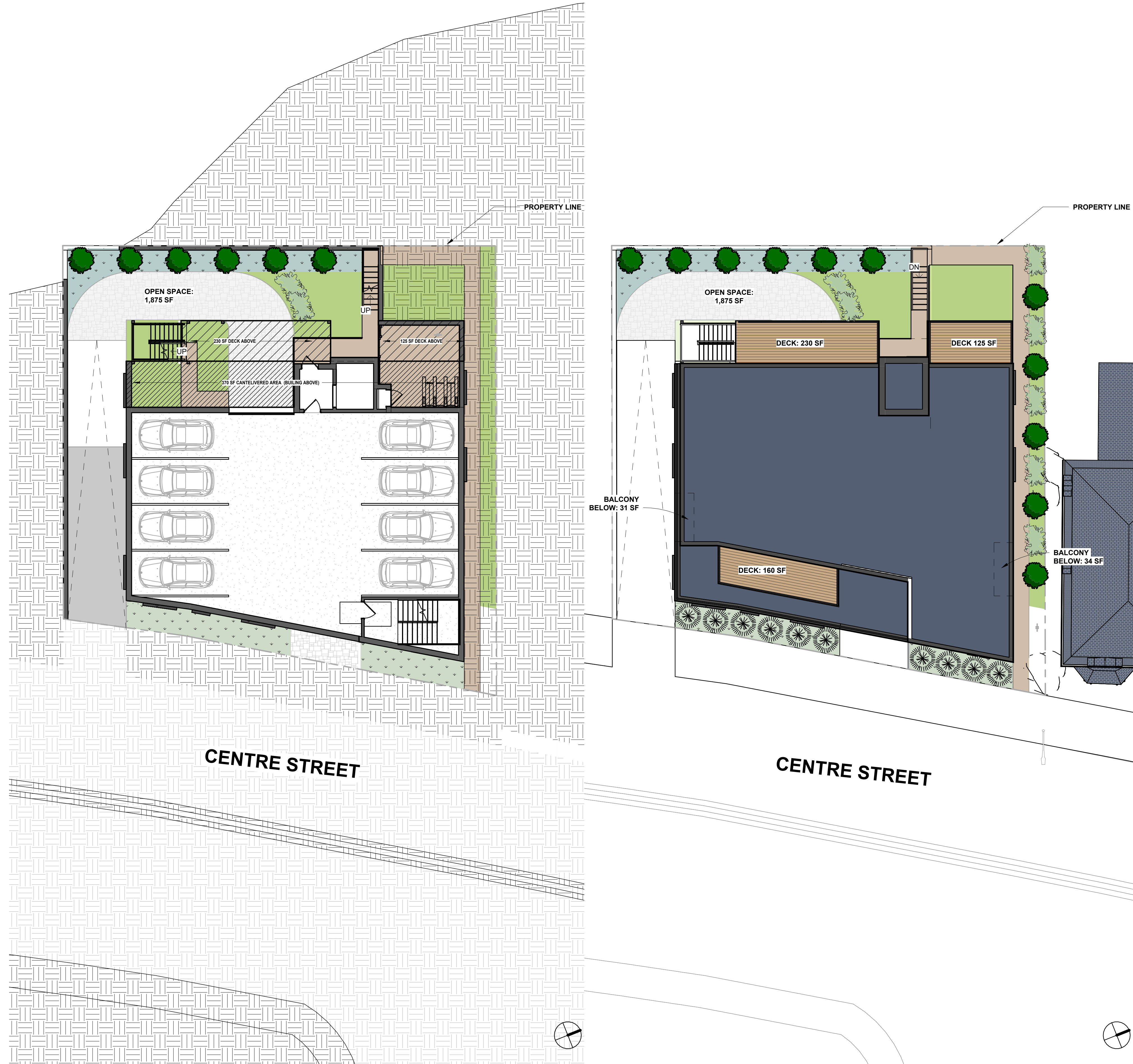
OPEN SPACE: 1,875 SF
 COVERED OPEN SPACE: 230 SF + 125 SF + 370 SF = 725 SF
 COMMON DECKS: 230 SF x 3 = 690 SF
 PRIVATE DECKS: (125 SF x 4) + (160 SF x 2) = 820 SF
 BALCONIES: (31 SF + 34 SF) x 3 = 195 SF

PLANTING LEGEND

		BUTTERFLY BUSH "BLUE CHIP JR"	
		RED CEDAR TREE 10FT TALL	
		HAMELN GRASS	
		LIRIOPE SPICATA	
		STELLA DE ORO DAYLILY	
		HAPPY RETURNS DAYLILY	



① 3D VIEW - Back

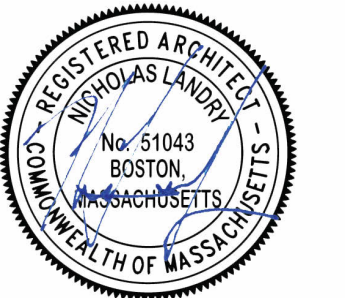


② Site - Landscape Ground Level
1" = 10'-0"

③ Site - Landscape - Roof Top
1" = 10'-0"



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 Boston, MA 02127
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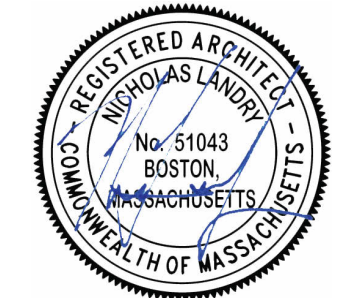


No.	Description	Date
1	REV 1	10.20.2023
2	REV 2	4.11.2024

Rob Dipierro
 85 CENTRE ST
 ARCH LANDSCAPE PLAN - PROPOSED

Project number: 223038
 Date: 04.11.2024
 Drawn by: SA
 Checked by: NPL

A011
 Scale: As indicated



No.	Description	Date
1	REV 1	10.20.2023

Rob Dipierro
85 CENTRE ST
GROUND FLOOR -
DEMO/PROPOSED

Project number 223038
Date 04.11.2024
Drawn by SA
Checked by NPL

A100

Scale As indicated

GENERAL NOTES

- WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS.
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- ALL GYPSUM BOARD SURFACES ARE TO BE 5/8" THICK UNLESS OTHERWISE NOTED.
- ALL GYPSUM AND PLASTER FINISHES SHOULD BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND HAVE NO VISIBLE JOINTS.
- PROVIDE GAS, WATER SPIGOT, OUTLET, AND LIGHTING AT ROOF DECKS.
- ALL CLOSETS SHALL HAVE SHelves AND POLE OR SHELVES AS REQUIRED, UNLESS OTHERWISE NOTED.
- ALL REQUIRED LIFE SAFETY DEVICES, INCLUDING SMOKE & CARBON MONOXIDE DETECTORS, SHALL BE INSTALLED BY THE CONTRACTOR IN COMPLIANCE WITH THE 2015 INTERNATIONAL BUILDING CODE

PLAN NOTES

- WALL DIMENSIONS ARE MEASURED FROM FACE OF EXIST. WALL TO C.L. OF NEW WALL, UNLESS OTHERWISE NOTED.
- ALL DOORS ARE 80" TALL UNLESS OTHERWISE NOTED.

MECHANICAL | SECURITY NOTES

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- HOT WATER IS TO BE PROVIDED BY A HIGH EFFICIENCY NAVIEN MODULATING CONDENSING COMBINATION HEATING AND HOT WATER SYSTEM OR EQUAL.
- HARD WIRED SECURITY SYSTEM SHALL BE PROVIDED AT EACH UNIT; CONTACTS SHALL BE PLACED AT EXTERIOR DOORS AND WINDOWS WITH ONE MOTION DETECTOR PER UNIT.

ELECTRICAL NOTES

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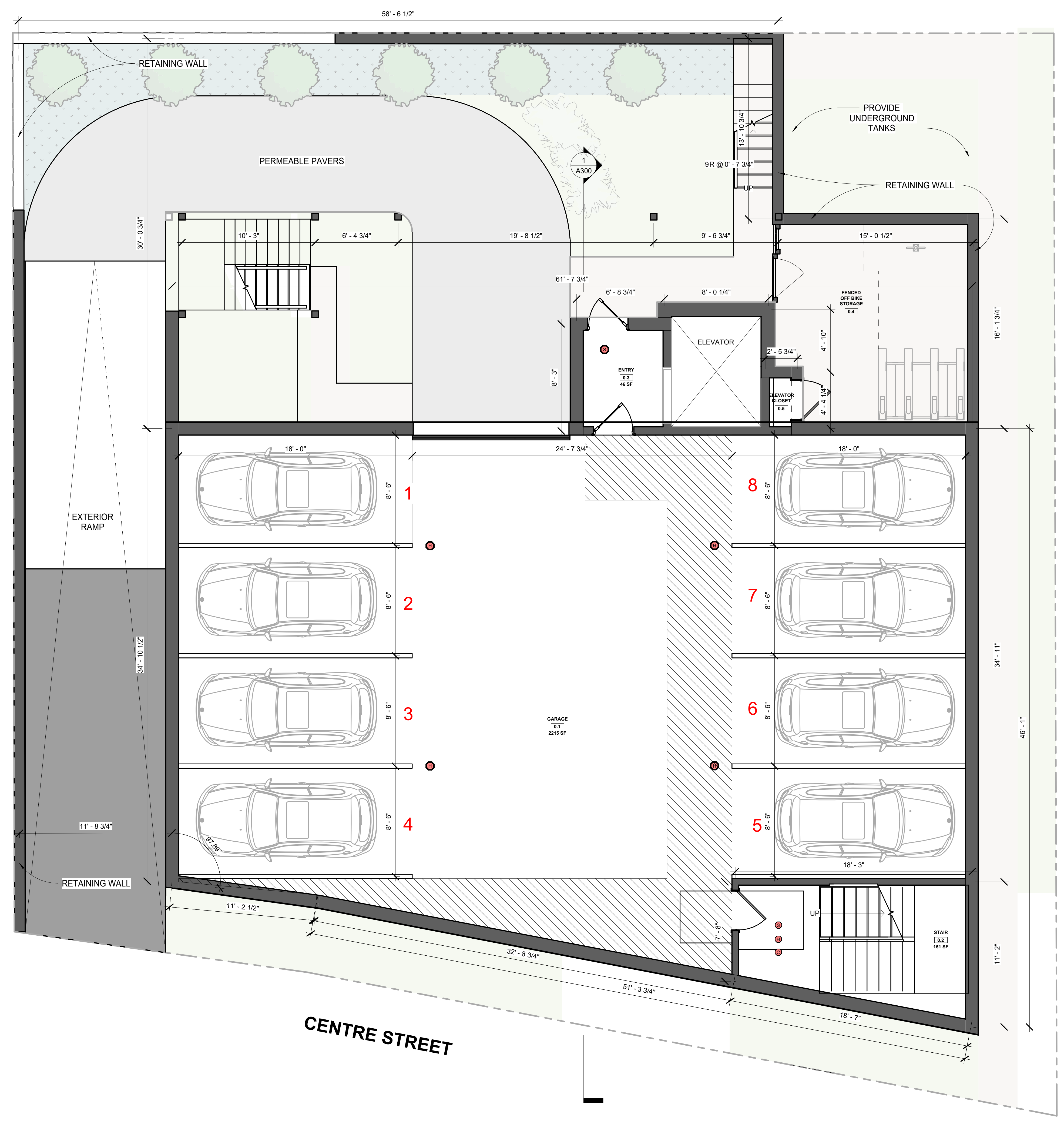
- SMOKE DETECTOR
- HEAT DETECTOR
- CARBON MONOXIDE DETECTOR

DEMO/PROPOSED PLAN GRAPHIC KEY

- EXISTING WALL TO REMAIN
- NEW WALL/INFILL
- AREA NOT IN CONTRACT
- DEMOLISHED BUILDING ELEMENT
- DEMOLISHED FLOOR FINISH/CEILING

TRIPLE DASHED RED LINE INDICATES REQUIRED (2) HOUR FIRE RESISTANCE RATED SEPARATION, UL NO. U314 AT WALLS AND UL NO. L501 AT CEILING

DASHED RED LINE INDICATES REQUIRED (1) HOUR FIRE RESISTANCE RATED SEPARATION, UL NO. L-583 AT CEILING



2 Basement - Proposed
1/4" = 1'-0"



GENERAL NOTES

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PLAN NOTES

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- ALL DOORS ARE 80" TALL UNLESS OTHERWISE NOTED.

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 - B. MOUNT ALL SWITCHES AT 42" TO CENTERLINE ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED.
 - C. VERTICALLY ALIGN SWITCHES AND OUTLETS WHERE POSSIBLE.

- (S) SMOKE DETECTOR
- (H) HEAT DETECTOR
- (C) CARBON MONOXIDE DETECTOR

DEMO/PROPOSED PLAN GRAPHIC KEY

- EXISTING WALL TO REMAIN
- NEW WALL/INFILL
- AREA NOT IN CONTRACT
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- DASHED RED LINE INDICATES REQUIRED (1) HOUR FIRE RESISTANCE RATED SEPARATION, UL NO. L-583 AT CEILING



FIRST FLOOR LIVING SPACE	
Name	Area
CRCLTN	553 SF
ELEVATOR	80 SF
UNIT 1	1408 SF
UNIT 2	939 SF

① Level 1 - Proposed
1/4" = 1'-0"

No.	Description	Date
1	REV 1	10.20.2023

Rob Dipierro
85 CENTRE ST
LEVEL 1 - PROPOSED

Project number: 223038
Date: 04.11.2024
Drawn by: SA
Checked by: NPL

A101
Scale: As indicated

1
A300



GENERAL NOTES

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DEMO/PROPOSED PLAN GRAPHIC KEY

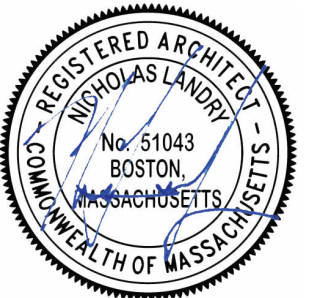
- SMOKE DETECTOR
- HEAT DETECTOR
- CARBON MONOXIDE DETECTOR

- EXISTING WALL TO REMAIN
- NEW WALL/INFILL
- AREA NOT IN CONTRACT
- DEMOLISHED BUILDING ELEMENT
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DASHED RED LINE INDICATES REQUIRED (1) HOUR FIRE RESISTANCE RATED SEPARATION, UL NO. L-583 AT CEILING

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546 East Broadway
Boston, MA 02127
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drdt.boston



No.	Description	Date
1	REV 1	10.20.2023

Rob Dipierro
85 CENTRE ST
LEVEL 2 - PROPOSED

Project number 223038
Date 04.11.2024
Drawn by SA
Checked by NPL

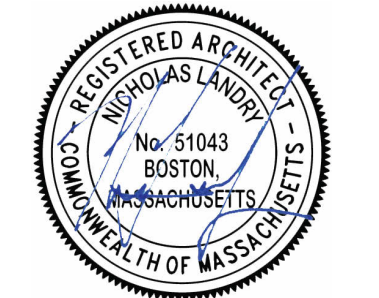
A102

Scale As indicated

SECOND FLOOR LIVING SPACE

Name	Area
CRCLTN	515 SF
ELEVATOR	80 SF
UNIT 3	1400 SF
UNIT 4	993 SF
TOTAL	2988 SF

① Level 2 - Proposed
1/4" = 1'-0"



GENERAL NOTES

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MECHANICAL | SECURITY NOTES

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- S SMOKE DETECTOR
- H HEAT DETECTOR
- C CARBON MONOXIDE DETECTOR

DEMO/PROPOSED PLAN GRAPHIC KEY

- EXISTING WALL TO REMAIN
 - NEW WALL/INFILL
 - AREA NOT IN CONTRACT
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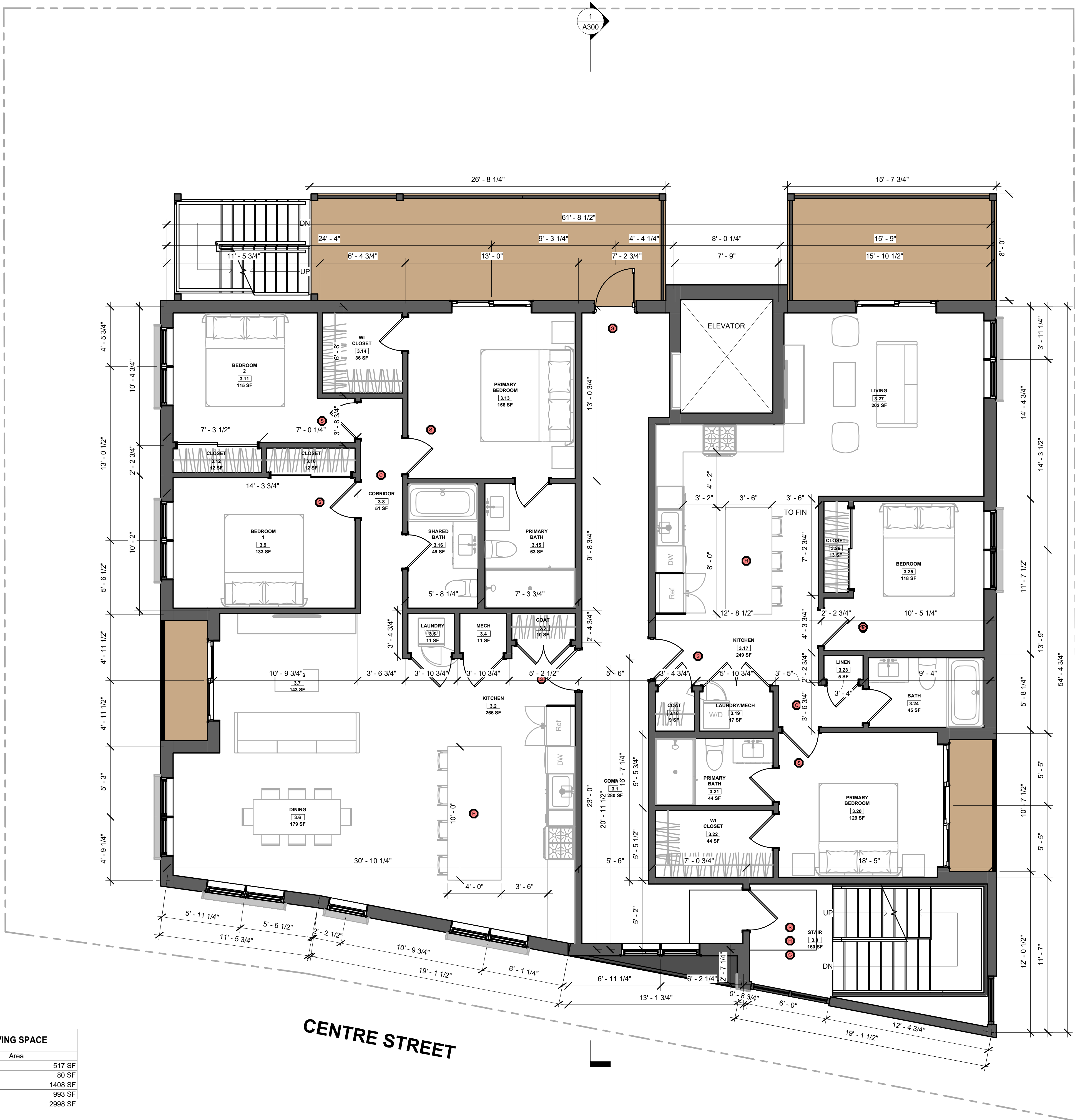
No.	Description	Date
1	REV 1	10.20.2023

Rob Dipierro
85 CENTRE ST
LEVEL 3 - PROPOSED

Project number 223038
Date 04.11.2024
Drawn by SA
Checked by NPL

A103

Scale As indicated



THIRD FLOOR LIVING SPACE

Name	Area	
CRCLTN	517 SF	
ELEVATOR	80 SF	
UNIT 5	1408 SF	
UNIT 6	993 SF	
	2998 SF	

① Level 3 - Proposed
1/4" = 1'-0"



No.	Description	Date
1	REV 1	10.20.2023

Rob Dipierro
85 CENTRE ST
LEVEL 4 - PROPOSED

Project number: 223038
Date: 04.11.2024
Drawn by: SA
Checked by: NPL

A104
Scale: As indicated



Name	Area
CRCLTN	521 SF
ELEVATOR	80 SF
UNIT 7	1055 SF
UNIT 8	904 SF
TOTAL	2560 SF

1 Level 4 - Proposed
1/4" = 1'-0"

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- ALL CLOSET LIGHTING IS TO BE HIGH EFFICIENCY LIGHTING.
- OUTLETS IN BATHROOMS SHALL HAVE GROUND FAULT INTERCEPTORS.
- ALL SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY SOURCE OF POWER FROM BUILDING WIRING WITH BATTERY BACK-UP.
- ALL DIMENSIONS FOR THE FOLLOWING ITEMS ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED:
 - A. MOUNT ALL OUTLETS, PHONE JACKS, AND TELEVISION CABLE JACKS VERTICALLY AT 18" TO CENTERLINE ABOVE THE FINISH FLOOR UNLESS OTHERWISE NOTED. WHERE BASE AND TRIM IS LARGER THAN 9-1/2" TALL PROVIDE 6" CLEARANCE FROM BOTTOM OF PLATE TO TOP OF BASEBOARD TRIM.
 - B. MOUNT ALL SWITCHES AT 42" TO CENTERLINE ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED.
 - C. VERTICALLY ALIGN SWITCHES AND OUTLETS WHERE POSSIBLE.

- SMOKE DETECTOR
- HEAT DETECTOR
- CARBON MONOXIDE DETECTOR

DEMO/PROPOSED PLAN GRAPHIC KEY

- EXISTING WALL TO REMAIN
- NEW WALL/INFILL
- AREA NOT IN CONTRACT
- DEMOLISHED BUILDING ELEMENT
- DEMOLISHED FLOOR FINISH/CEILING

TRIPLE DASHED RED LINE INDICATES REQUIRED (2) HOUR FIRE RESISTANCE RATED SEPARATION, UL NO. U314 AT WALLS AND UL NO. L501 AT CEILING

DASHED RED LINE INDICATES REQUIRED (1) HOUR FIRE RESISTANCE RATED SEPARATION, UL NO. L583 AT CEILING



No.	Description	Date
1	REV 1	10.20.2023

Rob Dipierro
85 CENTRE ST
ROOF - PROPOSED

Project number	223038
Date	04.11.2024
Drawn by	SA
Checked by	NPL

A105

Scale As indicated

GENERAL NOTES

- WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS.
- ALL DIMENSIONS ARE TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY. DIMENSIONS ARE NOT TO BE SCALED OFF THE DRAWINGS.
- ALL GYPSUM BOARD SURFACES ARE TO BE 5/8" THICK UNLESS OTHERWISE NOTED.
- ALL GYPSUM AND PLASTER FINISHES SHOULD BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND HAVE NO VISIBLE JOINTS.
- PROVIDE GAS, WATER SPIGOT, OUTLET, AND LIGHTING AT ROOF DECKS.
- ALL CLOSETS SHALL HAVE SHELF AND POLE OR SHELVES AS REQUIRED, UNLESS OTHERWISE NOTED.
- ALL REQUIRED LIFE SAFETY DEVICES, INCLUDING SMOKE & CARBON MONOXIDE DETECTORS, SHALL BE INSTALLED BY THE CONTRACTOR IN COMPLIANCE WITH THE 2015 INTERNATIONAL BUILDING CODE

PLAN NOTES

- WALL DIMENSIONS ARE MEASURED FROM FACE OF EXIST. WALL TO C.L. OF NEW WALL, UNLESS OTHERWISE NOTED.
- ALL DOORS ARE 80" TALL UNLESS OTHERWISE NOTED.

MECHANICAL | SECURITY NOTES

- PROVIDE 5.1 AUDIO WIRING FOR LIVING ROOM AND MASTER BEDROOMS; FOR NUMBER AND LOCATION, SEE REFLECTED CEILING PLANS.
- PROVIDE NEST LEARNING THERMOSTAT AT EACH UNIT. (ZONING PER FLOOR LEVEL IN DUPLEX UNITS)
- HEATING AND AIR CONDITIONING IS TO BE PROVIDED BY HIGH VELOCITY FORCED AIR SPACE PAK HIGH VELOCITY AIR CONDITIONING SYSTEMS WITH HYDRONIC HEATING.
- HOT WATER IS TO BE PROVIDED BY A HIGH EFFICIENCY NAVIEN MODULATING CONDENSING COMBINATION HEATING AND HOT WATER SYSTEM OR EQUAL.
- HARD WIRED SECURITY SYSTEM SHALL BE PROVIDED AT EACH UNIT; CONTACTS SHALL BE PLACED AT EXTERIOR DOORS AND WINDOWS WITH ONE MOTION DETECTOR PER UNIT.

ELECTRICAL NOTES

- ELECTRICAL SERVICE POWER IS TO BE EVALUATED FOR MEETING LIGHTING DESIGN AND EQUIPMENT REQUIREMENTS. PROPER POWER LEVEL SHALL BE PROVIDED.
- ALL NEW ELECTRICAL ITEMS ARE TO BE U.L. RATED.
- ALL ELECTRICAL PANELS ARE TO BE RECESSED INTO A WALL WITH A MINIMUM 6" STUD DIMENSION. REVIEW FINAL LOCATION WITH ARCHITECT AND OWNER.
- ALL DISTRIBUTION PANELS ARE TO BE NEW.
- LIVING AREAS, DINING AREAS, AND ALL BEDROOM ARE TO RECEIVE 3-WIRE JUNCTION BOXES.
- PROVIDE ELECTRIC HEAT MATS BY NUHEAT OR EQUAL AT ALL BATHROOMS.
- ALL CLOSET LIGHTING IS TO BE HIGH EFFICIENCY LIGHTING.
- OUTLETS IN BATHROOMS SHALL HAVE GROUND FAULT INTERCEPTORS.
- ALL SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY SOURCE OF POWER FROM BUILDING WIRING WITH BATTERY BACK-UP.
- ALL DIMENSIONS FOR THE FOLLOWING ITEMS ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED:
 - MOUNT ALL OUTLETS, PHONE JACKS, AND TELEVISION CABLE JACKS VERTICALLY AT 18" TO CENTERLINE ABOVE THE FINISH FLOOR UNLESS OTHERWISE NOTED. WHERE BASE AND TRIM IS LARGER THAN 9-1/2" TALL PROVIDE 6" CLEARANCE FROM BOTTOM OF PLATE TO TOP OF BASEBOARD TRIM.
 - MOUNT ALL SWITCHES AT 42" TO CENTERLINE ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED.
 - VERTICALLY ALIGN SWITCHES AND OUTLETS WHERE POSSIBLE.

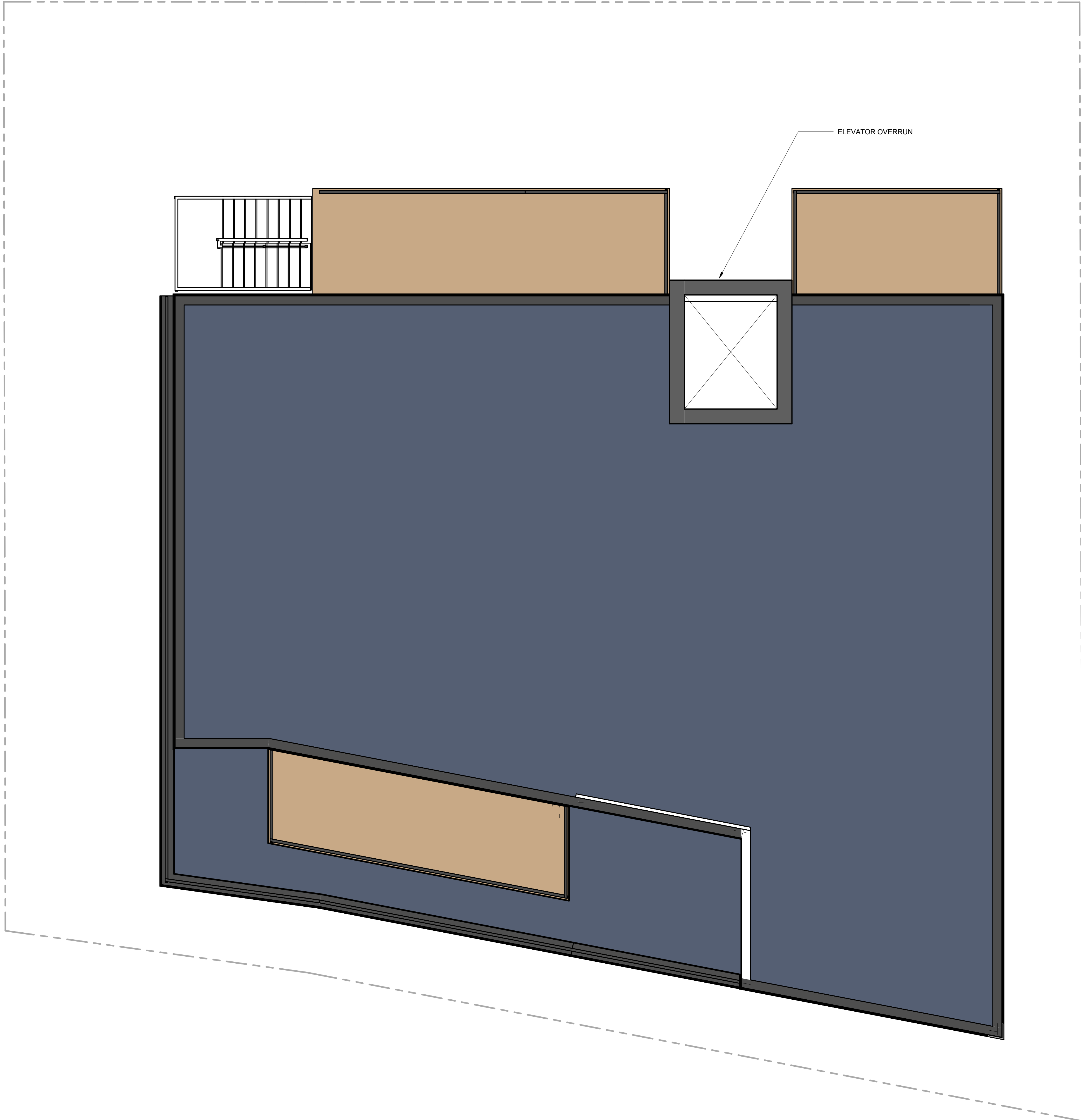
- (S) SMOKE DETECTOR
- (H) HEAT DETECTOR
- (C) CARBON MONOXIDE DETECTOR

DEMO/PROPOSED PLAN GRAPHIC KEY

- EXISTING WALL TO REMAIN
- NEW WALL/INFILL
- AREA NOT IN CONTRACT
- DEMOLISHED BUILDING ELEMENT
- DEMOLISHED FLOOR FINISH/CEILING

TRIPLE DASHED RED LINE INDICATES REQUIRED (2) HOUR FIRE RESISTANCE RATED SEPARATION, UL NO. U314 AT WALLS AND UL NO. L501 AT CEILING

DASHED RED LINE INDICATES REQUIRED (1) HOUR FIRE RESISTANCE RATED SEPARATION, UL NO. L-583 AT CEILING



① Level 5
1/4" = 1'-0"

FINISH GRADE NOTE:

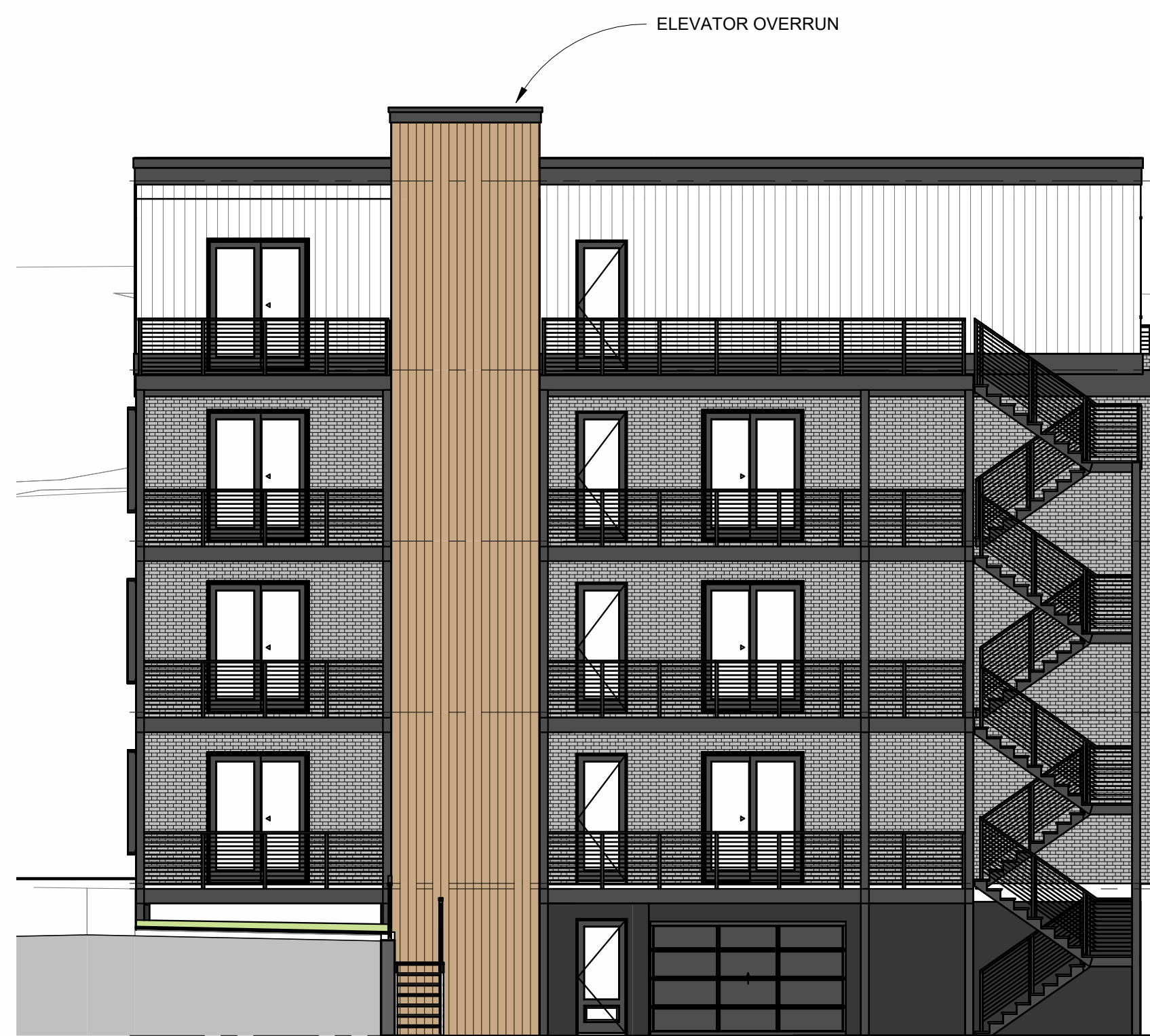
ALL GRADING SHOWN ON THE ELEVATIONS SHALL BY NO MEANS BE ASSUMED AS THE ACTUAL GRADING CONDITIONS AROUND THE BUILDING. REFER TO SITE PLAN PREPARED BY OTHERS FOR FINAL GRADING.



① South Elevation - Proposed
1/8" = 1'-0"



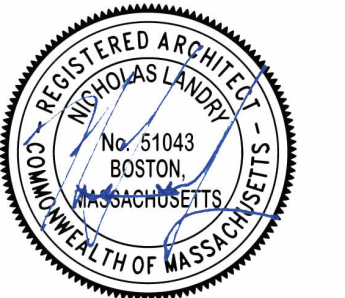
② East Elevation - Proposed
1/8" = 1'-0"



③ North Elevation - Proposed
1/8" = 1'-0"



④ West Elevation - Proposed
1/8" = 1'-0"



No.	Description	Date
1	REV 1	10.20.2023
2	REV 2	4.11.2024

Rob Dipierro
85 CENTRE ST
ELEVATIONS - PROPOSED

Project number	223038
Date	04.11.2024
Drawn by	SA
Checked by	NPL

A200

Scale 1/8" = 1'-0"



① West Elevation - Proposed Materials
1/8" = 1'-0"



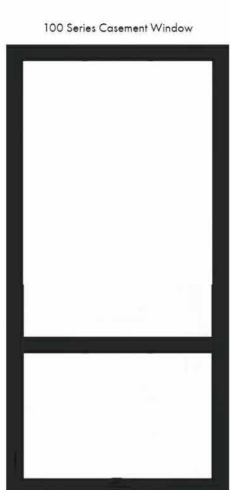
EXTERIOR RAILING AT DECKS AND STAIRS
BLACK METAL CABLE RAILING

OASIS (OR EQUAL)
TEMPERED GLASS RAILING
BASE SHOE GLASS RAILING SYSTEM
FOR BALCONIES

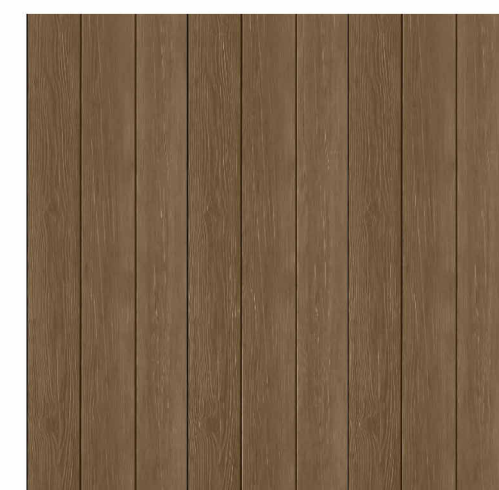
PERMEABLE PAVERS
TURFSTONE FOR WALKWAYS

PERMEABLE PAVERS
AQUA-BRIC PAVERS (OR EQUAL)
FOR DRIVEWAY

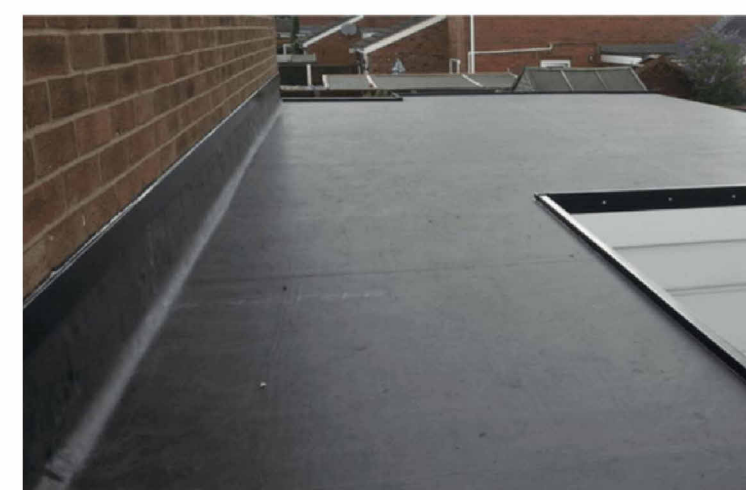
DESIGNER™ SERIES - FLUTED
PANEL (WHITE)



ANDERSON 100 SERIES
WINDOWS
BLACK EXTERIOR FRAME, BLACK
EXTERIOR SASH/PANEL, W/BLACK
INTERIOR FRAME, W/BLACK INTERIOR
SASH/PANEL



NICHIHA (FIBER CEMENT)
ARCHITECTURAL WALL PANELS
VINTAGEWOOD (VERTICAL)
WOOD SERIES
COLOR - CEDAR



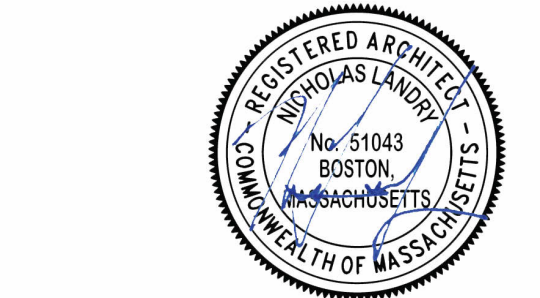
EPDM ROOF
COLOR - BLACK



BRICK VENEER
ENGLISH GRAY VELOUR



② South Elevation - Proposed Materials
1/8" = 1'-0"



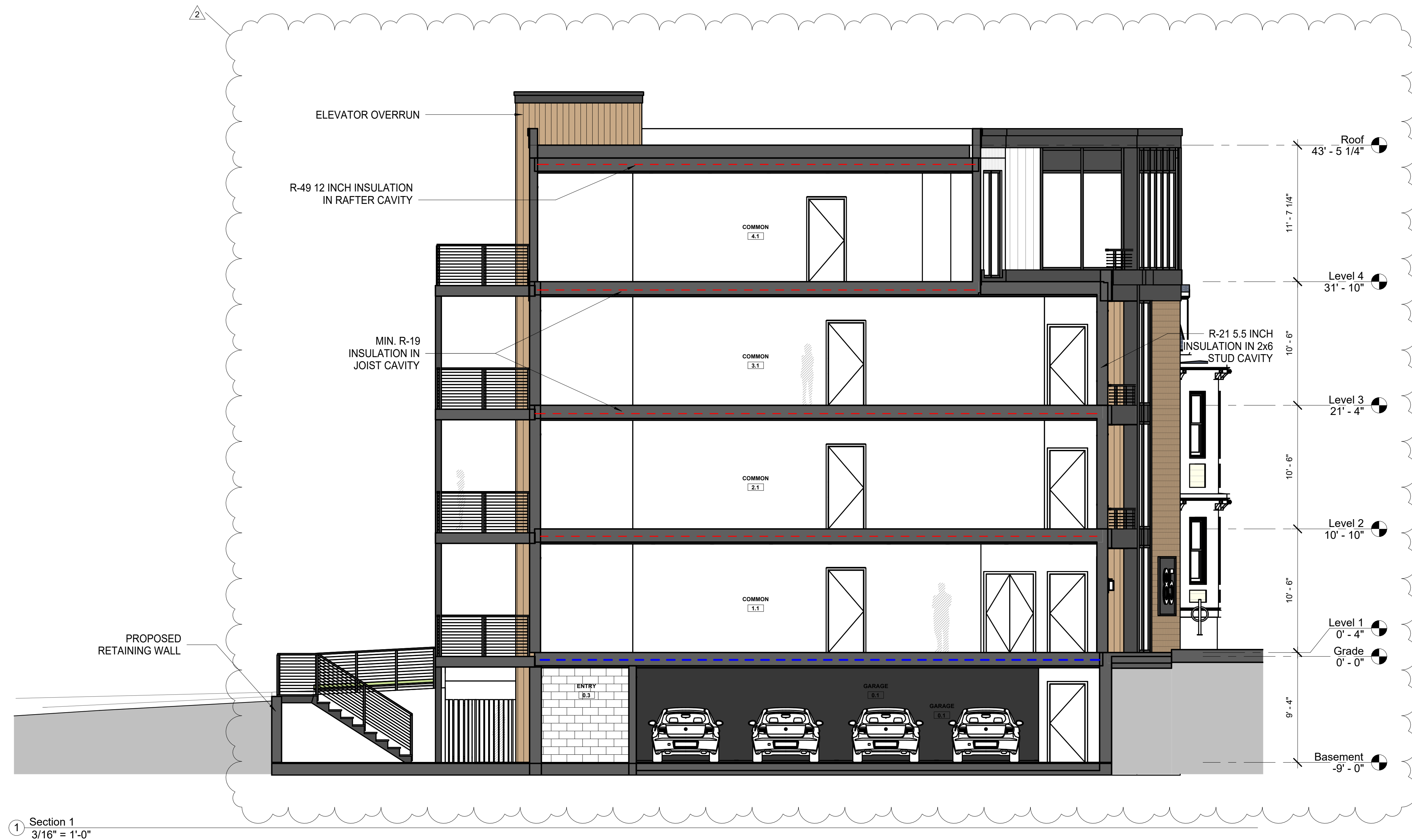
No.	Description	Date
1	REV 1	10.20.2023
2	REV 2	4.11.2024

Rob Dipierro
85 CENTRE ST
EXTERIOR MATERIALS - PROPOSED

Project number 223038
Date 04.11.2024
Drawn by SA
Checked by NPL

A201

Scale 1/8" = 1'-0"



Section 1
3/16" = 1'-0"

--- DASHED BLUE LINE INDICATES REQUIRED (3) HOUR FIRE RESISTANCE RATED SEPARATION.

--- DASHED RED LINE INDICATES REQUIRED (1) HOUR FIRE RESISTANCE RATED SEPARATION, UL NO. L-583 AT CEILING

INSULATION NOTES - Section 1	
1.	PRESCRIPTIVE CONFORMANCE TO IECC SECTION 402 SELECTED FOR COMPLIANCE WITH IRC CHAPTER 11 N1101.2
2.	MINIMUM WINDOW PERFORMANCE: U-0.30 OR BETTER
3.	MINIMUM SKYLIGHT PERFORMANCE: U-0.55 OR BETTER
4.	ROOF AND CEILING INSULATION: PERFORMANCE R-49 OR BETTER. EXTEND FULL DEPTH INSULATION TO EXTERIOR WALL SHEATHING TO ELIMINATE COLD CORNERS AND PREVENT ICE DAM FORMATIONS
5.	WOOD FRAME EXTERIOR WALLS: HIGH PERFORMANCE R-21 WALL INSULATION IN 2x6 WD STUD WALLS OR FLASH AND BATT WITH SPRAY FOAM AND FIBERGLAS ATT INSULATION TO MEET MINIMUM REQUIREMENT IN TABLE 402.1.1
6.	MASS WALLS: R-17 MINIMUM PERFORMANCE IF INSTALLED INSIDE OF WALL CENTERLINE, R-13 MINIMUM IF INSTALLED ON THE OUTSIDE AS MEASURED FROM THE WALL CENTERLINE
7.	FLOOR INSULATION: R-30 INSULATION BETWEEN JOISTS. INSULATION MUST BE INSTALLED FOR PERMANENT DIRECT CONTACT BETWEEN SUB-FLOOR AND INSULATION. INSTALLATIONS THAT ALLOW FUTURE SAGGING OF INSULATION AWAY FROM FLOOR DECK NOT PERMITTED
8.	FOUNDATION AND SLAB INSULATION AT BASEMENT: R-30 INSULATION UNDER SLAB

ENERGY CODE REQUIREMENTS (IECC 2021 EDITION)										
TABLE R402.1.3 INSULATION MINIMUM R-VALUES AND FENESTRATION REQUIREMENTS BY COMPONENT										
CLIMATE ZONE	FENESTRATION U-FACTOR (b)	SKYLIGHT(b) U-FACTOR	GLAZED FENESTRATION SHGC (b, e)	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE (l)	FLOOR R-VALUE	BASEMENT (c) WALL R-VALUE	SLAB (d) R-VALUE & DEPTH	CRAWL SPACE (c) WALL R-VALUE
5 and Marine 4	0.30	0.55	0.40	60	30 or 20+5ci(h) or 13+10ci(h)...	13/17	30	15ci or 19 or 12+5ci	10ci, 4 ft	15ci or 19 or 13+5ci

NR - Not Required; For SI: 1 foot = 304.8 mm.

a. R-values are minimums. U-factors and SHGC are maximums. Where insulation is installed in a cavity that is less than the label or design thickness of the insulation, the installed R-value of the insulation shall be not less than the R-value specified in the table.

b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: In Climate Zones 0 through 3, skylights shall be permitted to be excluded from glazed fenestration SHGC requirements provided that the SHGC for such skylights does not exceed 0.30.

c. "5ci or 13" means R-5 continuous insulation (ci) on the interior or exterior surface of the wall or R-13 cavity insulation on the interior side of the wall. "10ci or 13" means R-10 continuous insulation (ci) on the interior or exterior surface of the wall or R-13 cavity insulation on the interior side of the wall. "15ci or 19 or 13&5ci" means R-15 continuous insulation (ci) on the interior or exterior surface of the wall; or R-19 cavity insulation on the interior side of the wall; or R-13 cavity insulation on the interior of the wall in addition ...

d. R-5 insulation shall be provided under the full slab area of a heated slab in addition to the required slab edge insulation R-value for slabs, as indicated in the table. The slab-edge insulation for heated slabs shall not be required to extend below the slab.

e. There are no SHGC requirements in the Marine Zone.

f. Basement wall insulation is not required in Warm Humid locations as defined by Figure R301.1 and Table R301.1.

g. The first value is cavity insulation; the second value is continuous insulation. Therefore, as an example, "13&5" means R-13 cavity insulation plus R-5 continuous insulation.

h. Mass walls shall be in accordance with Section R402.2.5. The second R-value applies where more than half of the insulation is on the interior of the mass wall.

i. A maximum U-factor of 0.32 shall apply in Climate Zones 3 through 8 to vertical fenestration products installed in buildings located either: (1) Above 4,000 feet in elevation, or (2) In windborne debris regions where protection of openings is required by Section R301.2.1.2 of the International Residential Code.



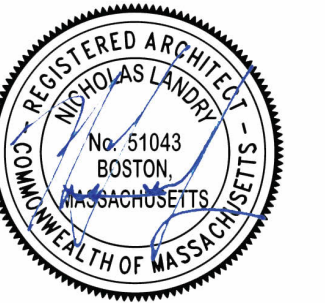
No.	Description	Date
1	REV 1	10.20.2023
2	REV 2	4.11.2024

Rob Dipierro
85 CENTRE ST
BUILDING SECTIONS

Project number 223038
Date 04.11.2024
Drawn by SA
Checked by NPL

A300

Scale As indicated



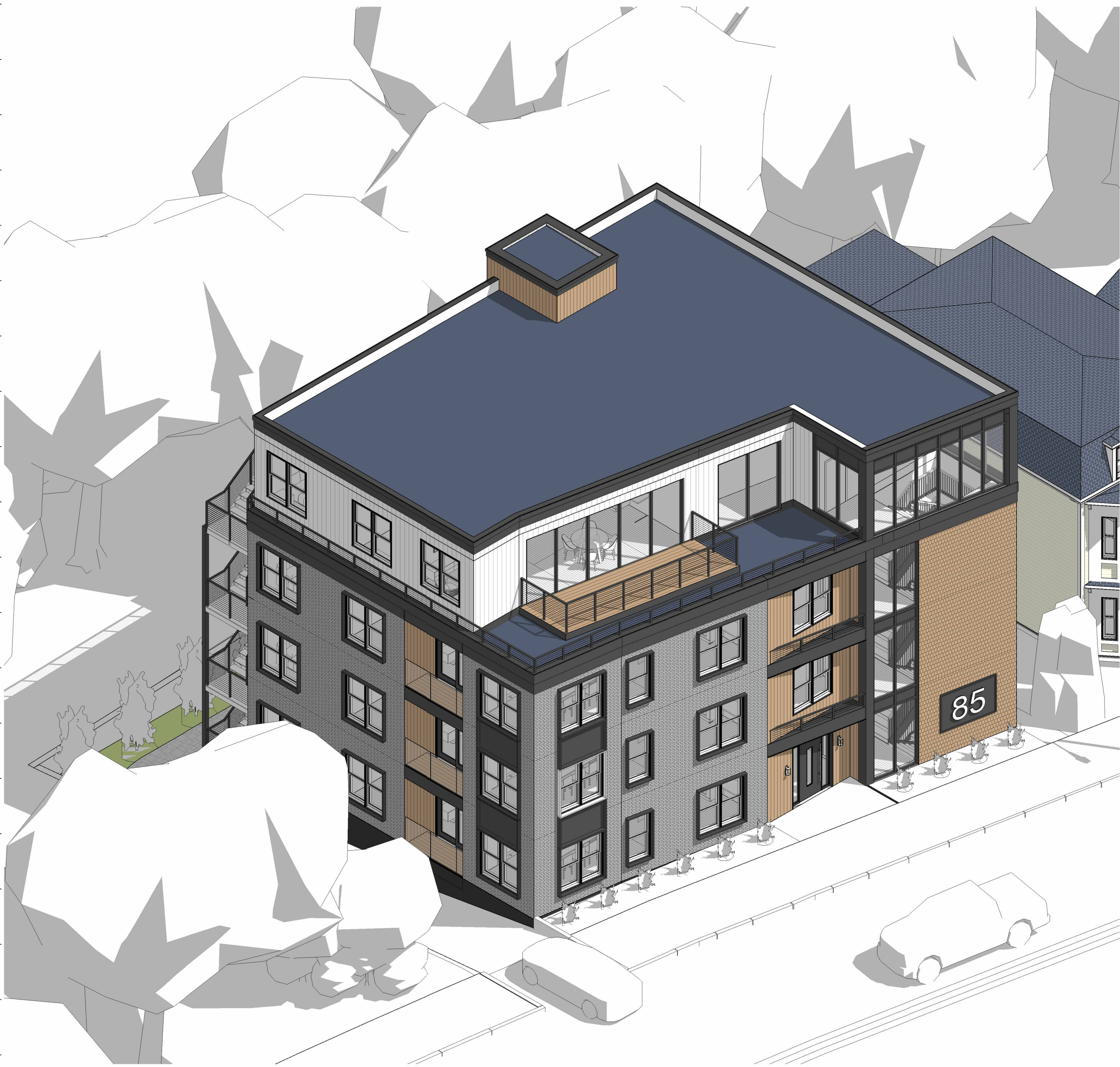
No.	Description	Date
1	REV 1	10.20.2023
2	REV 2	4.11.2024

Rob Dipierro
85 CENTRE ST
AXONS

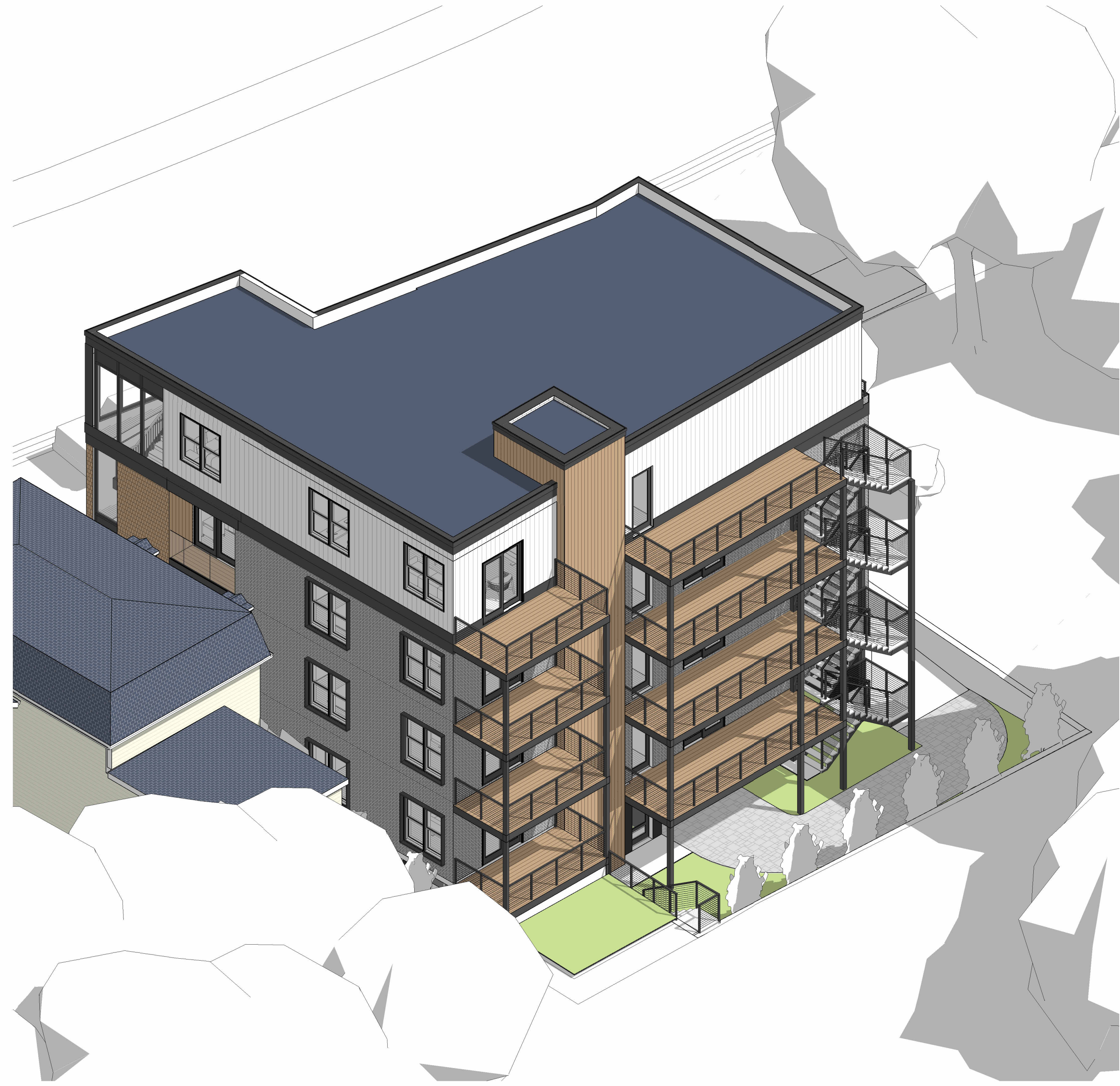
Project number 223038
Date 04.11.2024
Drawn by SA
Checked by NPL

A500

Scale



1 3D VIEW - Front



2 3D VIEW - Back



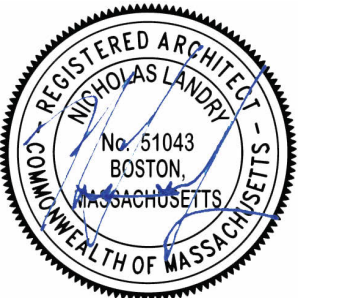
No.	Description	Date

Rob Dipierro
85 CENTRE ST
RENDERING - 4 FLOORS

Project number: 223038
Date: 04.11.2024
Drawn by: NC
Checked by: NPL

A706

Scale



No.	Description	Date

Rob Dipierro
85 CENTRE ST
RENDERING - 4 FLOORS

Project number	223038
Date	04.11.2024
Drawn by	NC
Checked by	NPL
A707	
Scale	



No.	Description	Date

Rob Dipierro
85 CENTRE ST
RENDERING - 4 FLOORS

Project number: 223038
Date: 04.11.2024
Drawn by: NC
Checked by: NPL

A708

Scale